

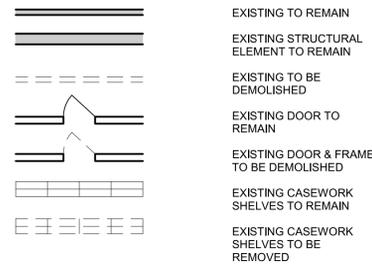
BPDA HABITAT FOR HUMANITY GREATER BOSTON 104R & 106R WALTER STREET ROSLINDALE, MA



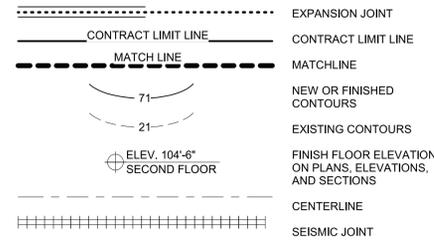
DESIGN DEVELOPMENT JANUARY 2nd, 2023



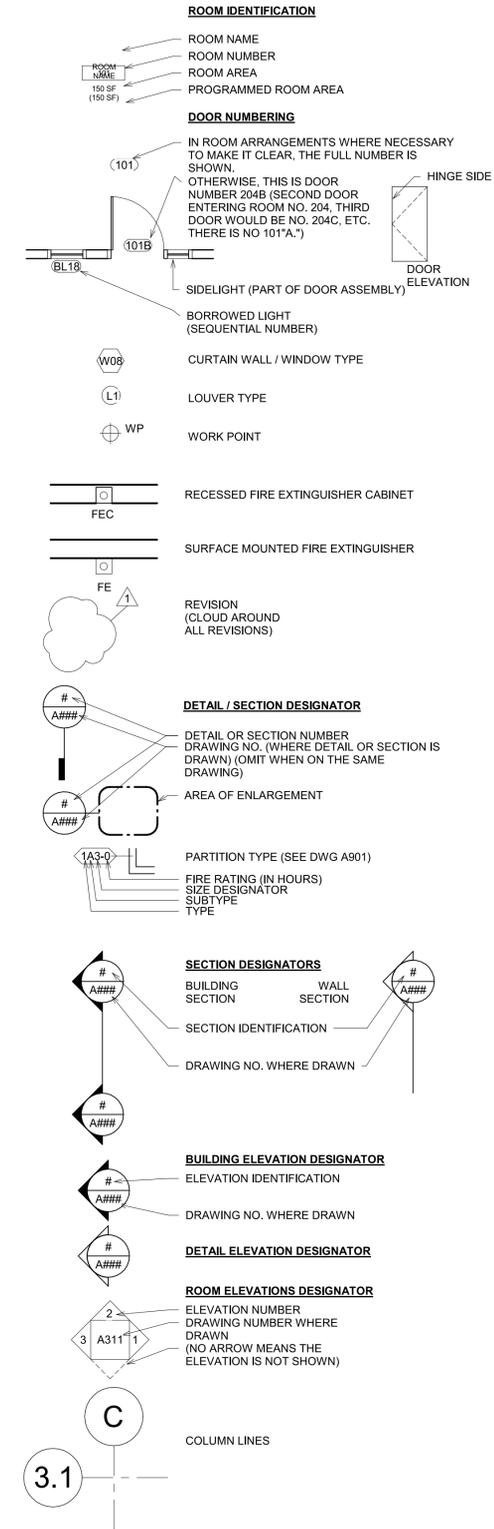
DEMOLITION SYMBOLS



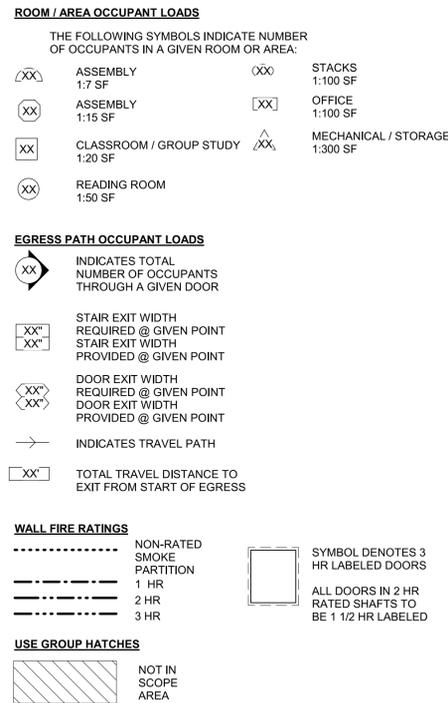
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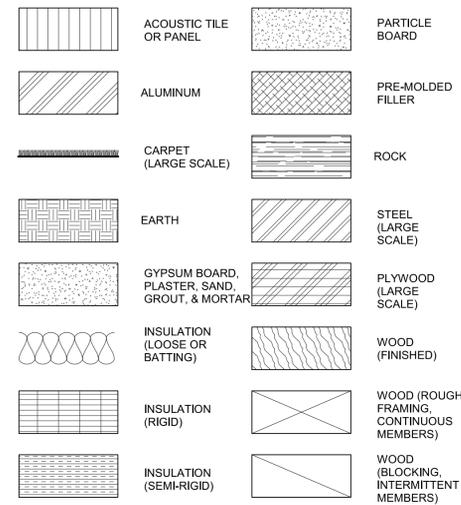
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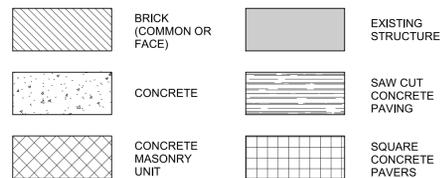
LIFE SAFETY SYMBOLS



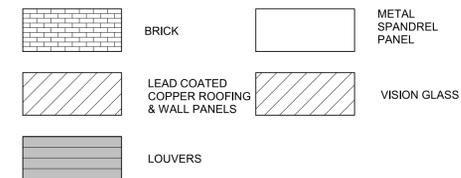
ARCH DETAIL SYMBOLS



EXTERIOR MATERIAL SYMBOLS



ARCH PLAN / DETAIL MATERIALS SYMBOLS



PROJECT
BPDA
104R & 106R WALTER STREET
ROSLINDALE, MA

CLIENT

ARCHITECT

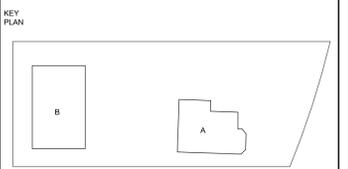
CIVIL ENGINEER

LANDSCAPE ARCHITECT

STRUCTURAL ENGINEER

MEP ENGINEER

NO.	DATE	DESCRIPTION
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SYMBOLS

DRAWING TITLE

SCALE: 1/4" = 1'-0"

DATE: 01/02/2023

JOB NUMBER: #####

SUBMISSION: DESIGN DEVELOPMENT BOTH

G002

SPECIFICATION 104R & 106R WALTER STREET

PART 1 - GENERAL

- 1.01 PROJECT INFORMATION
A. PROJECT LOCATION: 104R & 106R WALTER STREET
B. OWNER: HABITAT FOR HUMANITY GREATER BOSTON
C. ARCHITECT: ADAPTIV
D. SUSTAINABLE CONSULTANT
E. STRUCTURAL ENGINEER: SIEGEL ASSOCIATES

1.02 GENERAL REQUIREMENTS

A. WHEREVER THE TERM "CONTRACT DOCUMENTS" IS USED IT SHALL BE INTERPRETED AS THE CONSTRUCTION MANAGERS AGREEMENT WITH THE OWNER, THE DRAWINGS AND SPECIFICATIONS FOR THE PROJECT ARE INCLUDED.
B. ALL WORK MENTIONED IN THE CONTRACT DOCUMENTS SHALL BE PERFORMED BY THE CONTRACTOR AS PART OF THIS CONTRACT UNLESS IT IS SPECIFICALLY INDICATED IN THE CONTRACT DOCUMENTS THAT SUCH WORK IS TO BE DONE BY OTHERS...

G. GUARANTEE: ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF WORK...

H. OVERTSIGHT & SUPERVISION: THE CONTRACTOR SHALL PROVIDE A COMPETENT SUPERINTENDENT AND ASSISTANTS WHO SHALL BE IN ATTENDANCE AT THE PROJECT SITE FULL TIME DURING PROGRESS OF THE WORK UNTIL THE DATE OF SUBSTANTIAL COMPLETION.

I. INDEMNIFICATION: TO THE FULLEST EXTENT PERMITTED BY LAW, THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER, ARCHITECT, ARCHITECTS CONSULTANTS AND EMPLOYEES FROM AND AGAINST CLAIMS, DAMAGES, LOSSES AND EXPENSES...

K. PAYMENTS AND COMPLETION: CONTRACTOR TO SUBMIT A FULL SCHEDULE OF VALUES WHICH PERCENTAGE OF COMPLETION WILL BE AGREED UPON BEFORE PAYMENTS ARE INITIATED.

L. BUILDING INFORMATION MODEL: THE ARCHITECT WILL FURNISH THE CONTRACTOR WITH ONE COPY OF THE DIGITAL DRAWING FILES FOR THE PROJECT FOR ALL COORDINATION AND PREPARATION OF AS BUILT DRAWINGS...

M. SCHEDULE OF VALUES: CONTRACTOR TO SUBMIT A FULL SCHEDULE OF VALUES WHICH PERCENTAGE OF COMPLETION WILL BE AGREED UPON BEFORE PAYMENTS ARE INITIATED.

N. PHASED CONSTRUCTION: THE PROJECT SHOULD BE COMPLETED IN ONE PHASE AS SHOWN IN THE CONSTRUCTION DOCUMENTS.

O. ALTERNATES DESCRIBED AND/OR LISTED IN THIS SECTION ARE PART OF THE WORK ONLY IF ENUMERATED IN THE AGREEMENT. THE COST OR CREDIT FOR EACH ALTERNATE IS THE NET ADDITION TO OR DEDUCTION FROM THE CONTRACT SUM TO INCORPORATE THE ALTERNATE INTO THE WORK.

1.03 SCOPE OF WORK
A. RENOVATION OF THE EXISTING GYMNASIUM SPACE LOCATED WITHIN THE 500 ESSEX STREET FACILITY. THE SPACE WILL BE FIT OUT FROM A GENERALLY EMPTY SPACE INTO AN EDUCATIONAL FACILITY FOR CHILDREN FROM THE AGE OF KINDERGARTEN THROUGH 8TH GRADE...

1.04 COORDINATION WITH EXISTING FACILITY
A. ACCESS TO SITE: CONTRACTOR WILL COORDINATE WITH THE PROPERTY OWNER TO CONFIRM WORKING HOURS, LAY DOWN AREAS, ACCESS AND ANY ADDITIONAL REQUIREMENTS FOR THE COORDINATION OF CONSTRUCTION...

1.05 SUBMITTALS
A. CONTRACTOR TO SUBMIT SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AS REQUIRED BY THE CONTRACT DOCUMENTS, BY SUBMITTING SHOP DRAWINGS, CONTRACTOR VERIFIES THAT ALL SITE COMPONENTS AND CONDITIONS OF BEEN FIELD VERIFIED AND CONFIRMED...

1.06 SUBSTITUTIONS
A. SUBSTITUTIONS: THE ARCHITECT AND ENGINEERS WILL RESPOND WITHIN 10 BUSINESS DAYS TO SUBSTITUTIONS ASSUMING ALL SUBSTITUTIONS ARE OF EQUAL OR GREATER QUALITY TO WHAT IS SPECIFIED IN THE DRAWINGS AND THESE SPECIFICATIONS...

1.07 CLOSE OUT PROCEDURES
A. AS BUILT DRAWINGS: CONTRACTOR TO DOCUMENT ANY ALTERATIONS FROM THE CONTRACT DOCUMENTS AND SUBMIT THEM AS A FINAL PACKAGED SET OF DOCUMENTS...

1.08 COORDINATION WITH EXISTING FACILITY
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1.13 CLOSE OUT PROCEDURES
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1.16 CLOSE OUT PROCEDURES
A. AS BUILT DRAWINGS: CONTRACTOR TO DOCUMENT ANY ALTERATIONS FROM THE CONTRACT DOCUMENTS AND SUBMIT THEM AS A FINAL PACKAGED SET OF DOCUMENTS...

1.17 COORDINATION WITH EXISTING FACILITY
A. ACCESS TO SITE: CONTRACTOR WILL COORDINATE WITH THE PROPERTY OWNER TO CONFIRM WORKING HOURS, LAY DOWN AREAS, ACCESS AND ANY ADDITIONAL REQUIREMENTS FOR THE COORDINATION OF CONSTRUCTION...

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1.19 CLOSE OUT PROCEDURES
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1.22 CLOSE OUT PROCEDURES
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1.23 COORDINATION WITH EXISTING FACILITY
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1.25 CLOSE OUT PROCEDURES
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1.28 CLOSE OUT PROCEDURES
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1.29 COORDINATION WITH EXISTING FACILITY
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1.31 CLOSE OUT PROCEDURES
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1.32 COORDINATION WITH EXISTING FACILITY
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1.34 CLOSE OUT PROCEDURES
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1.35 COORDINATION WITH EXISTING FACILITY
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E. FINAL COMPLETION PROCEDURES: SUBMIT A FINAL PAYMENT APPLICATION, FINAL PUNCH LIST, CERTIFICATE OF INSURANCE.
F. CONTRACTOR TO SUBMIT THE FOLLOWING CLOSEOUT SUBMITTALS IN ADDITION TO THE ITEMS NOTED ABOVE:
a) CERTIFICATES OF RELEASE FROM THE AHJ.
b) CERTIFICATE OF INSURANCE FOR CONTINUING COVERAGE.

G. INSPECTION: CONTRACTOR TO SUBMIT WRITTEN REQUEST FOR INSPECTION TO DETERMINE SUBSTANTIAL COMPLETION A MINIMUM OF 10 DAYS PRIOR TO THE DATE THE WORK WILL BE COMPLETED AND READY FOR INSPECTIONS AND TESTS UPON APPROVAL OF THE FINAL INSPECTION, THE ARCHITECT WILL PREPARE THE CERTIFICATE OF SUBSTANTIAL COMPLETION.
H. WARRANTIES AND GUARANTEES: CONTRACTOR TO SUBMIT ALL WARRANTIES AND GUARANTEES FOR DESIGNATED PORTIONS OF THE WORK.

PART 2 - PRODUCTS/APPLICATION
2.01 - GENERAL: CONTRACTOR TO FURNISH ALL MATERIALS AND LABOR FOR ALL WORK INDICATED ON THE CONSTRUCTION DOCUMENTS OR HEREIN SPECIFIED TO BE PART OF THE SCOPE OF WORK.

2.02 - 03 30 00 CAST IN PLACE CONCRETE
A. SUMMARY: PROVIDE CONCRETE FLOOR INFILL WORK AS NOTED IN THE CONTRACT DOCUMENTS
B. THE CONTRACTOR IS RESPONSIBLE FOR CORRECTION OF ANY CAST IN PLACE CONCRETE THAT EXHIBITS ANY DEFECTS.

2.03 - 04 00 COLD FORMED METAL FRAMING
A. SUMMARY: INTERIOR NON LOAD BEARING WALL FRAMING
B. CONFORM TO THE FOLLOWING DESIGN STANDARDS: AISI S211, AISI S212, AISI S213 UNLESS MORE STRINGENT REQUIREMENTS ARE INDICATED.

2.04 - 05 00 METAL FABRICATIONS
A. SUMMARY: PROVIDE FULL HEIGHT LOCKABLE METAL GATE AT THE EXISTING STAIRCASE PER THE CONTRACT DOCUMENTS.
B. STEEL TUBE ASTM WELDED AS SHOWN IN THE CONTRACT DOCUMENTS.

2.05 - 06 10 33 MISC. ROUGH CARPENTRY
A. SUMMARY: PROVIDE ALL FRAMING FOR WOOD FRAMED WALLS, STRUCTURAL WOOD COMPONENTS, WOOD BLOCKING AND PLYWOOD.
B. LUMBER: DOC PS 20 AND APPLICABLE RULES OF GRADING AGENCIES INDICATED.

2.06 - 06 10 00 SHEATHING
A. SUMMARY: PROVIDE THE PLYWOOD SHEATHING AT THE ROOF OF THE FLEX SPACE.
B. THICKNESS: AS NEEDED TO COMPLY WITH REQUIREMENTS SPECIFIED, BUT NOT LESS THAN THE THICKNESS INDICATED IN THE CONTRACT DOCUMENTS.

2.07 - 06 40 23 INTERIOR ARCHITECTURAL WOODWORK
A. SUMMARY: PROVIDE ALL WOOD CASEWORK, SOLID SURFACE MATERIAL COUNTERTOPS, WOOD WALL PANELS, FABRIC WRAPPED TACK TABLE PANELS.
B. DO NOT DELIVER WOODWORK UNTIL PAINTING AND SIMILAR OPERATIONS THAT COULD DAMAGE THE WOODWORK HAVE BEEN COMPLETED IN INSTALLATION AREA.

2.08 - 07 21 00 THERMAL INSULATION
A. SUMMARY: PROVIDE INSULATION AT ALL INTERIOR WALLS FOR ACOUSTICAL PERFORMANCE.
B. MINERAL WOOL INSULATION IN ALL WALLS DIVIDING TWO SEPARATE SPACES: R-WALL TO BE MAXIMIZED BASED ON THE DEPTH OF THE FRAMING. INSULATION SHALL BE CONTINUOUS AND WITHOUT VOIDS.

2.09 - 07 62 00 SHEET METAL FLASHING AND TRIM
A. SUMMARY: PROVIDE FLASHING AROUND THE PERIMETER OF THE METAL DUCT PENETRATIONS OF THE EXTERIOR WALL.
B. PRODUCTS: ALUMINUM SHEET FLASHING WITH THREE COAT FLUOROPOLYMER OR EQUAL FINISH FINISH TO MATCH THE FLASHING OF THE EXISTING BUILDING.

2.10 - 07 84 13 PENETRATION FIRESTOPPING
A. SUMMARY: PROVIDE FIRE STOPPING AT ALL PENETRATIONS IN FIRE RATED WALLS AND SMOKE BARRIERS/SMOKE PARTITIONS.
B. JOBSITE CONDITIONS OF EACH THROUGH PENETRATION FIRESTOP SYSTEM MUST MEET ALL DETAILS OF THE UL GLASSIFIED SYSTEMS PERFORMANCE MANUALS.

2.11 - 07 92 00 JOINT SEALANTS
A. PROVIDE ALL JOINT SEALANTS AND FILLERS AS INDICATED NOT LIMITED TO BUT INCLUDING AROUND ALL GYPSUM BOARD PANELS FOR ACOUSTIC PERFORMANCE AT EDGE MOLDINGS FOR ACOUSTICAL CEILINGS, AND AT THE EXTERIOR DUCT PENETRATION.
B. PROVIDE ELASTOMERIC JOINT SEALANTS AT ALL INTERIOR JOINTS TO ESTABLISH AIRTIGHT AND WATER RESISTANT CONTINUOUS JOINT SEALS, COMPLY WITH ASTM C 920 AND OTHER REQUIREMENTS INDICATED FOR EACH LIQUID APPLIED CHEMICALLY CURING SEALANT PRODUCT: PROVIDE SINGLE COMPONENT NEUTRAL CURING SILICONE SEALANT.

2.12 - 08 12 00 METAL FRAMES
A. SUMMARY: PROVIDE WELDED METAL FRAMES FOR ALL INTERIOR DOORS INDICATED IN THE DOOR SCHEDULE.
B. FIRE RATED ASSEMBLIES: COMPLY WITH NFPA 80 AND LISTED AND LABELED BY A QUALIFIED TESTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION FOR FIRE PROTECTION RATINGS AND TEMPERATURE RISE LIMITS INDICATED. PROVIDE DOORS WITH RATINGS PER THE DOOR SCHEDULE.

2.13 - 08 14 16 FLUSH WOOD DOORS
A. SUMMARY: SOLID CORE DOOR WITH WOOD VENEER FACES FOR FACTORY APPLIED TRANSPARENT FINISH.
B. QUALITY STANDARD - VENEER FACED DOORS COMPLY WITH AWT'S, AWMAC'S, AND WTS ARCHITECTURAL WOODWORK STANDARDS. PROVIDE AWT QUALITY CERTIFICATION LABELS.

2.14 - 08 40 00 STOREFRONT DEMOUNTABLE SYSTEMS
A. SUMMARY: PROVIDE DEMOUNTABLE WINDOW AND DOOR SYSTEMS AS INDICATED IN THE CONTRACT DOCUMENTS.
B. DESIGN REQUIREMENTS: DESIGN GLASS PARTITION SYSTEM TO WITHSTAND LIVE LOADS IN ACCORDANCE WITH APPLICABLE BUILDING CODE WITH MAXIMUM L/20 DEFLECTION. REGULATORY REQUIREMENTS: PROVIDE TEMPERED SAFETY GLASS FOR LOCATIONS SUBJECT TO HUMAN IMPACT AS REQUIRED BY THE APPLICABLE BUILDING CODE.

2.15 - 08 40 00 STOREFRONT DEMOUNTABLE SYSTEMS
A. SUMMARY: PROVIDE DEMOUNTABLE WINDOW AND DOOR SYSTEMS AS INDICATED IN THE CONTRACT DOCUMENTS.
B. DESIGN REQUIREMENTS: DESIGN GLASS PARTITION SYSTEM TO WITHSTAND LIVE LOADS IN ACCORDANCE WITH APPLICABLE BUILDING CODE WITH MAXIMUM L/20 DEFLECTION. REGULATORY REQUIREMENTS: PROVIDE TEMPERED SAFETY GLASS FOR LOCATIONS SUBJECT TO HUMAN IMPACT AS REQUIRED BY THE APPLICABLE BUILDING CODE.

2.16 - 08 40 00 STOREFRONT DEMOUNTABLE SYSTEMS
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2.17 - 08 40 00 STOREFRONT DEMOUNTABLE SYSTEMS
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2.18 - 08 40 00 STOREFRONT DEMOUNTABLE SYSTEMS
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2.19 - 08 40 00 STOREFRONT DEMOUNTABLE SYSTEMS
A. SUMMARY: PROVIDE DEMOUNTABLE WINDOW AND DOOR SYSTEMS AS INDICATED IN THE CONTRACT DOCUMENTS.
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2.20 - 08 40 00 STOREFRONT DEMOUNTABLE SYSTEMS
A. SUMMARY: PROVIDE DEMOUNTABLE WINDOW AND DOOR SYSTEMS AS INDICATED IN THE CONTRACT DOCUMENTS.
B. DESIGN REQUIREMENTS: DESIGN GLASS PARTITION SYSTEM TO WITHSTAND LIVE LOADS IN ACCORDANCE WITH APPLICABLE BUILDING CODE WITH MAXIMUM L/20 DEFLECTION. REGULATORY REQUIREMENTS: PROVIDE TEMPERED SAFETY GLASS FOR LOCATIONS SUBJECT TO HUMAN IMPACT AS REQUIRED BY THE APPLICABLE BUILDING CODE.

2.21 - 08 40 00 STOREFRONT DEMOUNTABLE SYSTEMS
A. SUMMARY: PROVIDE DEMOUNTABLE WINDOW AND DOOR SYSTEMS AS INDICATED IN THE CONTRACT DOCUMENTS.
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2.22 - 08 40 00 STOREFRONT DEMOUNTABLE SYSTEMS
A. SUMMARY: PROVIDE DEMOUNTABLE WINDOW AND DOOR SYSTEMS AS INDICATED IN THE CONTRACT DOCUMENTS.
B. DESIGN REQUIREMENTS: DESIGN GLASS PARTITION SYSTEM TO WITHSTAND LIVE LOADS IN ACCORDANCE WITH APPLICABLE BUILDING CODE WITH MAXIMUM L/20 DEFLECTION. REGULATORY REQUIREMENTS: PROVIDE TEMPERED SAFETY GLASS FOR LOCATIONS SUBJECT TO HUMAN IMPACT AS REQUIRED BY THE APPLICABLE BUILDING CODE.

2.23 - 08 40 00 STOREFRONT DEMOUNTABLE SYSTEMS
A. SUMMARY: PROVIDE DEMOUNTABLE WINDOW AND DOOR SYSTEMS AS INDICATED IN THE CONTRACT DOCUMENTS.
B. DESIGN REQUIREMENTS: DESIGN GLASS PARTITION SYSTEM TO WITHSTAND LIVE LOADS IN ACCORDANCE WITH APPLICABLE BUILDING CODE WITH MAXIMUM L/20 DEFLECTION. REGULATORY REQUIREMENTS: PROVIDE TEMPERED SAFETY GLASS FOR LOCATIONS SUBJECT TO HUMAN IMPACT AS REQUIRED BY THE APPLICABLE BUILDING CODE.

2.24 - 08 40 00 STOREFRONT DEMOUNTABLE SYSTEMS
A. SUMMARY: PROVIDE DEMOUNTABLE WINDOW AND DOOR SYSTEMS AS INDICATED IN THE CONTRACT DOCUMENTS.
B. DESIGN REQUIREMENTS: DESIGN GLASS PARTITION SYSTEM TO WITHSTAND LIVE LOADS IN ACCORDANCE WITH APPLICABLE BUILDING CODE WITH MAXIMUM L/20 DEFLECTION. REGULATORY REQUIREMENTS: PROVIDE TEMPERED SAFETY GLASS FOR LOCATIONS SUBJECT TO HUMAN IMPACT AS REQUIRED BY THE APPLICABLE BUILDING CODE.

2.25 - 08 40 00 STOREFRONT DEMOUNTABLE SYSTEMS
A. SUMMARY: PROVIDE DEMOUNTABLE WINDOW AND DOOR SYSTEMS AS INDICATED IN THE CONTRACT DOCUMENTS.
B. DESIGN REQUIREMENTS: DESIGN GLASS PARTITION SYSTEM TO WITHSTAND LIVE LOADS IN ACCORDANCE WITH APPLICABLE BUILDING CODE WITH MAXIMUM L/20 DEFLECTION. REGULATORY REQUIREMENTS: PROVIDE TEMPERED SAFETY GLASS FOR LOCATIONS SUBJECT TO HUMAN IMPACT AS REQUIRED BY THE APPLICABLE BUILDING CODE.

2.26 - 08 40 00 STOREFRONT DEMOUNTABLE SYSTEMS
A. SUMMARY: PROVIDE DEMOUNTABLE WINDOW AND DOOR SYSTEMS AS INDICATED IN THE CONTRACT DOCUMENTS.
B. DESIGN REQUIREMENTS: DESIGN GLASS PARTITION SYSTEM TO WITHSTAND LIVE LOADS IN ACCORDANCE WITH APPLICABLE BUILDING CODE WITH MAXIMUM L/20 DEFLECTION. REGULATORY REQUIREMENTS: PROVIDE TEMPERED SAFETY GLASS FOR LOCATIONS SUBJECT TO HUMAN IMPACT AS REQUIRED BY THE APPLICABLE BUILDING CODE.

2.27 - 08 40 00 STOREFRONT DEMOUNTABLE SYSTEMS
A. SUMMARY: PROVIDE DEMOUNTABLE WINDOW AND DOOR SYSTEMS AS INDICATED IN THE CONTRACT DOCUMENTS.
B. DESIGN REQUIREMENTS: DESIGN GLASS PARTITION SYSTEM TO WITHSTAND LIVE LOADS IN ACCORDANCE WITH APPLICABLE BUILDING CODE WITH MAXIMUM L/20 DEFLECTION. REGULATORY REQUIREMENTS: PROVIDE TEMPERED SAFETY GLASS FOR LOCATIONS SUBJECT TO HUMAN IMPACT AS REQUIRED BY THE APPLICABLE BUILDING CODE.

2.28 - 08 40 00 STOREFRONT DEMOUNTABLE SYSTEMS
A. SUMMARY: PROVIDE DEMOUNTABLE WINDOW AND DOOR SYSTEMS AS INDICATED IN THE CONTRACT DOCUMENTS.
B. DESIGN REQUIREMENTS: DESIGN GLASS PARTITION SYSTEM TO WITHSTAND LIVE LOADS IN ACCORDANCE WITH APPLICABLE BUILDING CODE WITH MAXIMUM L/20 DEFLECTION. REGULATORY REQUIREMENTS: PROVIDE TEMPERED SAFETY GLASS FOR LOCATIONS SUBJECT TO HUMAN IMPACT AS REQUIRED BY THE APPLICABLE BUILDING CODE.

2.29 - 08 40 00 STOREFRONT DEMOUNTABLE SYSTEMS
A. SUMMARY: PROVIDE DEMOUNTABLE WINDOW AND DOOR SYSTEMS AS INDICATED IN THE CONTRACT DOCUMENTS.
B. DESIGN REQUIREMENTS: DESIGN GLASS PARTITION SYSTEM TO WITHSTAND LIVE LOADS IN ACCORDANCE WITH APPLICABLE BUILDING CODE WITH MAXIMUM L/20 DEFLECTION. REGULATORY REQUIREMENTS: PROVIDE TEMPERED SAFETY GLASS FOR LOCATIONS SUBJECT TO HUMAN IMPACT AS REQUIRED BY THE APPLICABLE BUILDING CODE.

2.30 - 08 40 00 STOREFRONT DEMOUNTABLE SYSTEMS
A. SUMMARY: PROVIDE DEMOUNTABLE WINDOW AND DOOR SYSTEMS AS INDICATED IN THE CONTRACT DOCUMENTS.
B. DESIGN REQUIREMENTS: DESIGN GLASS PARTITION SYSTEM TO WITHSTAND LIVE LOADS IN ACCORDANCE WITH APPLICABLE BUILDING CODE WITH MAXIMUM L/20 DEFLECTION. REGULATORY REQUIREMENTS: PROVIDE TEMPERED SAFETY GLASS FOR LOCATIONS SUBJECT TO HUMAN IMPACT AS REQUIRED BY THE APPLICABLE BUILDING CODE.

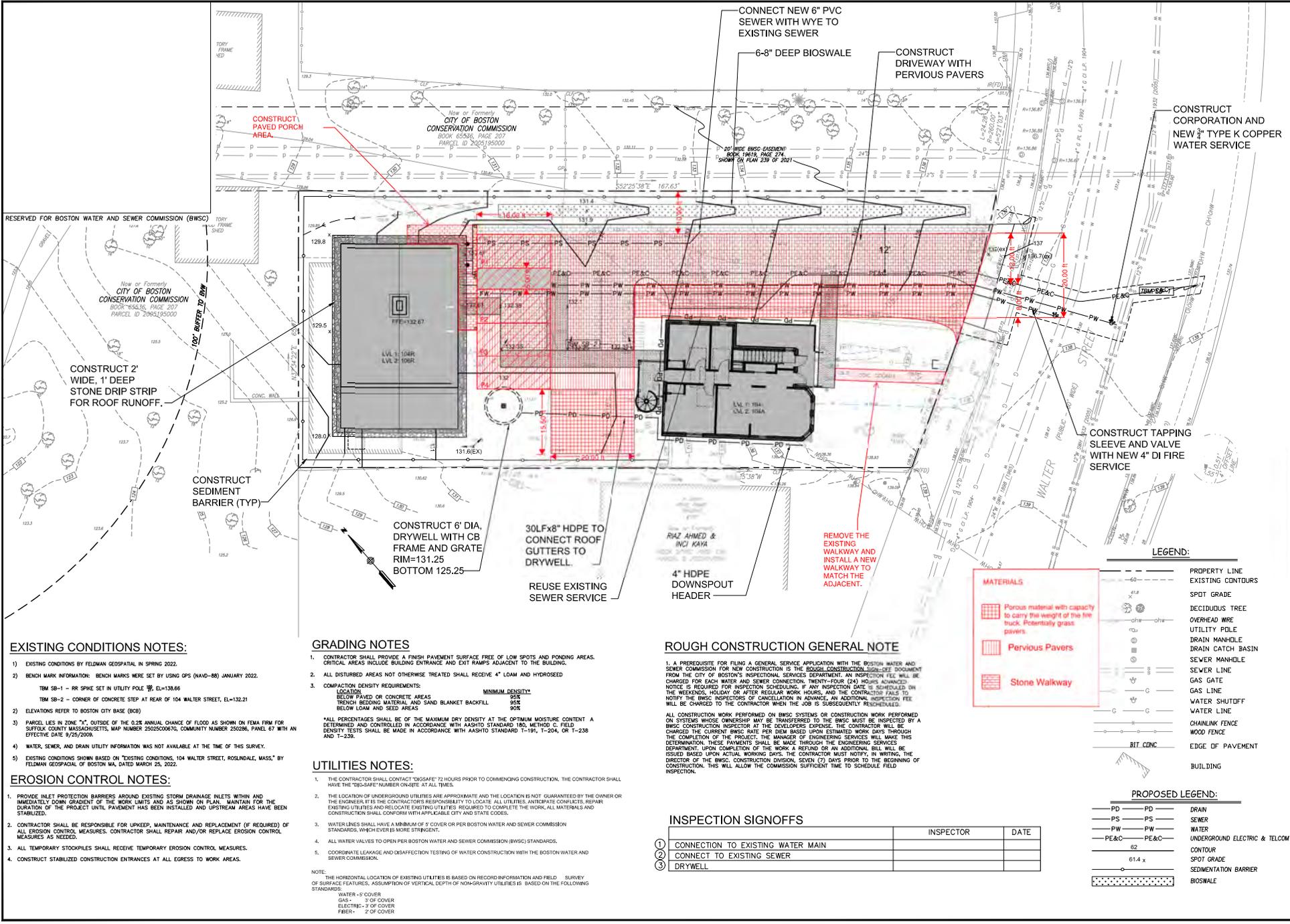
- 2.11 - 07 92 00 JOINT SEALANTS
A. PROVIDE ALL JOINT SEALANTS AND FILLERS AS INDICATED NOT LIMITED TO BUT INCLUDING AROUND ALL GYPSUM BOARD PANELS FOR ACOUSTIC PERFORMANCE AT EDGE MOLDINGS FOR ACOUSTICAL CEILINGS, AND AT THE EXTERIOR DUCT PENETRATION.
B. PROVIDE ELASTOMERIC JOINT SEALANTS AT ALL INTERIOR JOINTS TO ESTABLISH AIRTIGHT AND WATER RESISTANT CONTINUOUS JOINT SEALS, COMPLY WITH ASTM C 920 AND OTHER REQUIREMENTS INDICATED FOR EACH LIQUID APPLIED CHEMICALLY CURING SEALANT PRODUCT: PROVIDE SINGLE COMPONENT NEUTRAL CURING SILICONE SEALANT.
C. PROVIDE SEALANT BACKINGS OF MATERIAL AND TYPE THAT ARE NONSTRAINING AND ARE COMPATIBLE WITH JOINT SUBSTRATES, SEALANTS PRIMERS, AND OTHER JOINT FILLERS.
D. PLACE SEALANT SO THEY ARE DIRECTLY IN CONTACT WITH EACH SUB SURFACE AND PRODUCE UNIFORM, CROSS SECTIONAL SHAPES AND DEPTHS. CLEAN ALL EXCESS SEALANT OR SEALANT SKEWERS ADJACENT TO JOINTS.
E. PROVIDE JOINT SEALANTS AT EACH POLYGLA PANEL AT THE GREENHOUSE AND AT THE INTERSECTION OF EACH STUD AS WELL AS AT THE FLOOR FOR AN AIRTIGHT SYSTEM.
F. SUBMITTALS: PRODUCT DATA AND MSDS.
G. 12 - 08 12 00 METAL FRAMES
A. SUMMARY: PROVIDE WELDED METAL FRAMES FOR ALL INTERIOR DOORS INDICATED IN THE DOOR SCHEDULE.
B. FIRE RATED ASSEMBLIES: COMPLY WITH NFPA 80 AND LISTED AND LABELED BY A QUALIFIED TESTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION FOR FIRE PROTECTION RATINGS AND TEMPERATURE RISE LIMITS INDICATED. PROVIDE DOORS WITH RATINGS PER THE DOOR SCHEDULE.
C. THE CONCRETE IS TO MATCH THE EXISTING COLOR AND TEXTURE OF THE EXISTING AND SURROUNDING CONCRETE.
D. JOINTS: JOINTS ARE TO BE TOOLED FLUSH WITH THE SURROUNDING SURFACE AND MAKE THE JOINTS AS INVISIBLE AS POSSIBLE.
E. FINISHING: COMPLY WITH ACI 302.1R RECOMMENDATIONS FOR SCREEDING, FLOAT THE CONCRETE UNTIL THE SURFACE IS LEFT SMOOTH, AND WITH A GRANULAR TEXTURE THAT MATCHES THE EXISTING CONCRETE SLAB. INSTALL A UNIFORM CONTINUOUS SEALING COAT TO THE CONCRETE SLAB THROUGHOUT PER MANUFACTURERS WRITTEN INSTRUCTIONS.
F. SUBMITTALS: CONCRETE MIX DESIGN FOR EACH TYPE OF CONCRETE.
G. 2.03 - 04 00 COLD FORMED METAL FRAMING
A. SUMMARY: INTERIOR NON LOAD BEARING WALL FRAMING
B. CONFORM TO THE FOLLOWING DESIGN STANDARDS: AISI S211, AISI S212, AISI S213 UNLESS MORE STRINGENT REQUIREMENTS ARE INDICATED.
C. STEELS STUDS: MANUFACTURERS STANDARD C-SHAPES STEEL STUDS OF WEB DEPTHS AS INDICATED IN THE CONTRACT DOCUMENTS.
D. STEEL TRACK: MANUFACTURERS STANDARD U-SHAPED STEEL TRACK OF WEB DEPTHS AS INDICATED IN THE CONTRACT DOCUMENTS.
E. SUBMITTALS: PREPARE CAD DRAWINGS FOR ALL ELEVATIONS INCLUDING LAYOUTS, SPACING, SIZES, ANCHOR DETAILS.
F. 2.04 - 05 00 METAL FABRICATIONS
A. SUMMARY: PROVIDE FULL HEIGHT LOCKABLE METAL GATE AT THE EXISTING STAIRCASE PER THE CONTRACT DOCUMENTS.
B. STEEL TUBE ASTM WELDED AS SHOWN IN THE CONTRACT DOCUMENTS.
C. FINISH: WELD ALL JOINTS AS SIZES, GRIND AND SAND ALL WELDS FLUSH WITH THE METAL WORK. JOINTS ARE AS INVISIBLE AS POSSIBLE.
D. PAINT ALL METAL WORK WITH PRIMER AND METAL PAINT TO MATCH THE METAL RAILINGS ON THE EXISTING LEVEL 2.
E. SUBMITTALS: SHOP DRAWINGS SHOWING ELEVATIONS OF THE GATE AND DETAILS OF THE GATES COMPONENTS.
F. 2.05 - 06 10 33 MISC. ROUGH CARPENTRY
A. SUMMARY: PROVIDE ALL FRAMING FOR WOOD FRAMED WALLS, STRUCTURAL WOOD COMPONENTS, WOOD BLOCKING AND PLYWOOD.
B. LUMBER: DOC PS 20 AND APPLICABLE RULES OF GRADING AGENCIES INDICATED. IF NO GRADING AGENCY IS INDICATED, PROVIDE LUMBER THAT COMPLIES WITH THE APPLICABLE RULES OF ANY RULE-WRITING AGENCY CERTIFIED BY THE ALCOS BOARD OF REVIEW. EACH PIECE OF LUMBER ON SITE SHOULD BE FACTORY MARKED WITH A GRADE STAMP BY THE GRADING AGENCY.
a. LUMBER GRADING:
1. EXPOSED LUMBER SHALL BE CEDAR GRADE B SELECT WITH MINIMAL DEFECTS.
2. UN-EXPOSED LUMBER TO BE GRADE 2 COMMON FIR.
b. 2.06 - 06 10 00 SHEATHING
A. SUMMARY: PROVIDE THE PLYWOOD SHEATHING AT THE ROOF OF THE FLEX SPACE.
B. THICKNESS: AS NEEDED TO COMPLY WITH REQUIREMENTS SPECIFIED, BUT NOT LESS THAN THE THICKNESS INDICATED IN THE CONTRACT DOCUMENTS.
C. FACTORY MARK PANELS TO INDICATE COMPLIANCE WITH APPLICABLE STANDARDS. COMMON WIRE NAILS UNLESS OTHERWISE INDICATED, CAREFULLY NAIL IN ALL PLYWOOD SO THAT NO NAILS ARE VISIBLE FROM BELOW AND ALL NAILS ARE DIRECTLY IN WOOD FRAMING MEMBERS.
E. INSTALL PLYWOOD SQUARE AND WITHOUT ANY GAPS BETWEEN PANELS. PLYWOOD WILL BE EXPOSED FROM THE UNDERSIDE OF THE FLEX SPACE.
F. 2.07 - 06 40 23 INTERIOR ARCHITECTURAL WOODWORK
A. SUMMARY: PROVIDE ALL WOOD CASEWORK, SOLID SURFACE MATERIAL COUNTERTOPS, WOOD WALL PANELS, FABRIC WRAPPED TACK TABLE PANELS.
B. DO NOT DELIVER WOODWORK UNTIL PAINTING AND SIMILAR OPERATIONS THAT COULD DAMAGE THE WOODWORK HAVE BEEN COMPLETED IN INSTALLATION AREA.
C. WOOD PRODUCTS: CASEWORK TO BE PARTICLE BOARD - ANSI A208.1 GRADE M-2-EXTERIOR GLUE WITH PLASTIC LAMINATE FINISH.
D. SOLID SURFACE PRODUCTS: HOMOGENEOUS SOLID SHEETS OF FILLED PLASTIC RESIN COMPLYING WITH ANSI SS-1 AND ISSFA-2
a. MANUFACTURERS: FORMICA COMPANY, E I DU PONT DE NEMOURS AND COMPANY OR APPROVED EQUAL.
b. GRADE: PREMIUM, THICKNESS AS INDICATED ON THE DRAWINGS.
E. CABINET HARDWARE AND ACCESSORY MATERIALS: PROVIDE CABINET HARDWARE AND ACCESSORY MATERIALS ASSOCIATED WITH ARCHITECTURAL CABINETS.
a. ADJUSTABLE SHELF SUPPORTS: PLASTER SHELF STANDARDS AND SHELF RESTS: KNIFE AND WIRE OR EQUAL.
b. DOOR HINGES: CONCEALED TYPE BLUM 170 SERIES HINGE, SELF-CLOSING OR EQUAL.
c. DOOR AND DRAWER LOCKS: PROVIDE HAFELE COMBINATION LOCK OR EQUAL.
d. CATCHES: ROLLER CATCHES IVES NO 336 OR EQUAL.
e. NYLON PULL: HAFELE MODEL NO. 114-20.989 OR EQUAL.
f. FLUSH MOUNT COUNTERTOP SUPPORT BRACKETS: RAKKS COUNTER BRACKET MODEL NO. EH-1824 OR EQUAL.
g. EXPOSED HARDWARE SHALL BE SATIN STAINLESS STEEL.
h. DRAWER SLIDES: METABOX DRAWER SLIDES SLIDE MOUNT TYPE 100 POUND RATING OR EQUAL.
F. FABRIC WRAPPED TACK PANELS: CORE: PANEL CORE TO BE TACK TABLE 1/2" MINERAL FIBER BOARD, BUTT JOINT, PANEL SIZE AS INDICATED, SQUARE EDGE, MOUNTED WITH A Z CLIP UNLESS OTHERWISE INDICATED.
a. FINISH: PANELS SHALL BE COVERED ON FACE AND RETURN EDGES TO THE REAR OF THE PANEL. PROVIDE SMOOTH, WRINKLE FREE FACE AND TAILORED CORNERS MATERIAL SHALL BE RETURNED ON REAR OF PANEL A MINIMUM OF 2 INCHES. FABRIC MUST BE MATCHED IN VERTICAL AND HORIZONTAL DIRECTION WHEN TWO PANELS ARE ADJOINED.
b. FABRIC TO BE MAHARAM OR EQUAL. PANELS TO BE FORBO OR EQUAL.
G. PATTERN AND COLOR: CONTRACTOR TO PROVIDE OPTIONS FOR FINISHES AS INDICATED IN THE CONSTRUCTION DOCUMENTS.
H. PROVIDE ALL BLOCKING, SHIMS, AND HANGING STRIPS AS REQUIRED FOR PROPER INSTALLATION.
I. DRILL ALL HOLES FOR WIRES, PLUMBING OR OTHER ITEMS IN THE SHOP AND APPLY MILDEW RESISTANT SILICONE SEALANT AT THE PERIMETER EDGE OF ALL OPENINGS IN COUNTERTOPS. SUBMITTALS: SUBMIT FULL SET OF SHOP DRAWINGS INCLUDING ELEVATIONS, LAYOUTS, CABINET HARDWARE, ETC. SUBMIT SAMPLES FOR ALL MATERIALS FOR VERIFICATION ALONG WITH PRODUCT DATA SHEETS.
J. 2.08 - 07 21 00 THERMAL INSULATION
A. SUMMARY: PROVIDE INSULATION AT ALL INTERIOR WALLS FOR ACOUSTICAL PERFORMANCE.
B. MINERAL WOOL INSULATION IN ALL WALLS DIVIDING TWO SEPARATE SPACES: R-WALL TO BE MAXIMIZED BASED ON THE DEPTH OF THE FRAMING. INSULATION SHALL BE CONTINUOUS AND WITHOUT VOIDS.
C. COMPLY WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
D. SUBMITTALS: PRODUCT DATA AND MSDS
E. 2.09 - 07 62 00 SHEET METAL FLASHING AND TRIM
A. SUMMARY: PROVIDE FLASHING AROUND THE PERIMETER OF THE METAL DUCT PENETRATIONS OF THE EXTERIOR WALL.
B. PRODUCTS: ALUMINUM SHEET FLASHING WITH THREE COAT FLUOROPOLYMER OR EQUAL FINISH FINISH TO MATCH THE FLASHING OF THE EXISTING BUILDING.
C. INSTALL SHEET METAL FLASHING TO INTERCEPT AND EXCLUDE PENETRATING MOISTURE IN ACCORDANCE TO SMACNA RECOMMENDATIONS AND AS INDICATED. COORDINATE INSTALLATION OF WALL FLASHING WITH INSTALLATION OF WALL OPENING COMPONENT



GRADING, DRAINAGE AND UTILITIES PLAN

No.	Revision/Issue	Date

Design by: SPM	Checked by: PFA
Drawn by: SPM	Approved by: PFA
Project: 22002	Date: October 24, 2022



EXISTING CONDITIONS NOTES:

- EXISTING CONDITIONS BY FELDMAN GEOSPATIAL IN SPRING 2022.
- BENCHMARK INFORMATION: BENCH MARKS WERE SET BY USING GPS (NAVD-88) JANUARY 2022.
TBM SB-1 - RR SPIKE SET IN UTILITY POLE EL=138.66
TBM SB-2 - CORNER OF CONCRETE STEP AT REAR OF 104 WALTER STREET, EL=132.21
- ELEVATIONS REFER TO BOSTON CITY BASE (893)
- PARCEL LIES IN ZONE "C", OUTSIDE OF THE 100% ANNUAL CHANCE OF FLOOD AS SHOWN ON FEMA FIRM FOR SUFFOLK COUNTY MASSACHUSETTS, MAP NUMBER 2502SC00670, COMMUNITY NUMBER 250286, PANEL 87 WITH AN EFFECTIVE DATE 9/25/2009.
- WATER, SEWER, AND DRAIN UTILITY INFORMATION WAS NOT AVAILABLE AT THE TIME OF THIS SURVEY.
- EXISTING CONDITIONS SHOWN BASED ON "EXISTING CONDITIONS, 104 WALTER STREET, ROSLINDALE, MASS." BY FELDMAN GEOSPATIAL OF BOSTON MA, DATED MARCH 25, 2022.

EROSION CONTROL NOTES:

- PROVIDE INLET PROTECTION BARRIERS AROUND EXISTING STORM DRAINAGE INLETS WITHIN AND IMMEDIATELY DOWN GRADIENT OF THE WORK LIMITS AND AS SHOWN ON PLAN. MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED AND UPSTREAM AREAS HAVE BEEN STABILIZED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR UPKEEP, MAINTENANCE AND REPLACEMENT (IF REQUIRED) OF ALL EROSION CONTROL MEASURES. CONTRACTOR SHALL REPAIR AND/OR REPLACE EROSION CONTROL MEASURES AS NEEDED.
- ALL TEMPORARY STOCKPILES SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES.
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES AT ALL EGRESS TO WORK AREAS.

GRADING NOTES

- CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE AND EXIT RAMPS ADJACENT TO IT.
- ALL DISTURBED AREAS NOT OTHERWISE TREATED SHALL RECEIVE 4" LEAM AND HYDROSEED
- COMPACTION DENSITY REQUIREMENTS:
LOCATION MINIMUM DENSITY%
BELOW PAVED OR CONCRETE AREAS 95%
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL 90%
BELOW LEAM AND SEED AREAS 90%
*ALL PERCENTAGES SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT. A DETERMINED AND CONTROLLED IN ACCORDANCE WITH AASHTO STANDARD 180, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH AASHTO STANDARD T-191, T-204, OR T-236 AND T-239.

UTILITIES NOTES:

- THE CONTRACTOR SHALL CONTACT "DISSAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE "DISSAFE" NUMBER ON-SITE AT ALL TIMES.
- THE LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATION IS NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE CITY AND STATE CODES.
- WATER LINES SHALL HAVE A MINIMUM OF 5' COVER OR PER BOSTON WATER AND SEWER COMMISSION STANDARDS, WHICH EVER IS MORE STRINGENT.
- ALL WATER VALVES TO OPEN PER BOSTON WATER AND SEWER COMMISSION (BWS) STANDARDS.
- COORDINATE LEAKAGE AND DISAFFECTION TESTING OF WATER CONSTRUCTION WITH THE BOSTON WATER AND SEWER COMMISSION.

NOTE: THE HORIZONTAL LOCATION OF EXISTING UTILITIES IS BASED ON RECORD INFORMATION AND FIELD SURVEY OF SURFACE FEATURES. ASSUMPTION OF VERTICAL DEPTH OF NON-GRAVITY UTILITIES IS BASED ON THE FOLLOWING STANDARDS:
WATER - 5' COVER
GAS - 5' OF COVER
ELECTRIC - 3' OF COVER
FIBER - 2' OF COVER

ROUGH CONSTRUCTION GENERAL NOTE

1. A PREREQUISITE FOR FILING A GENERAL SERVICE APPLICATION WITH THE BOSTON WATER AND SEWER COMMISSION FOR NEW CONSTRUCTION IS THE BIDDING CONSTRUCTION SIGN-OFF DOCUMENT FROM THE CITY OF BOSTON'S INSPECTORIAL SERVICES DEPARTMENT. AN INSPECTION FEE WILL BE CHARGED FOR EACH WATER AND SEWER CONNECTION. TWENTY-FOUR (24) HOURS ADVANCED NOTICE IS REQUIRED FOR INSPECTION SCHEDULING. IF ANY INSPECTION DATE IS CANCELLED ON THE WEEKENDS, HOLIDAY OR AFTER REGULAR WORK HOURS, AND THE CONTRACTOR FAILS TO NOTIFY THE BWS INSPECTORS OF CANCELLATION IN ADVANCE, AN ADDITIONAL INSPECTION FEE WILL BE CHARGED TO THE CONTRACTOR WHEN THE JOB IS SUBSEQUENTLY RESCHEDULED.
ALL CONSTRUCTION WORK PERFORMED ON BWS SYSTEMS OR CONSTRUCTION WORK PERFORMED ON SYSTEMS WHOSE OWNERSHIP MAY BE TRANSFERRED TO THE BWS MUST BE INSPECTED BY A BWS CONSTRUCTION INSPECTOR AT THE DEVELOPERS EXPENSE. THE CONTRACTOR WILL BE CHARGED THE CURRENT BWS RATE PER DIEM BASED UPON ESTIMATED WORK DAYS THROUGH THE COMPLETION OF THE PROJECT. THE MANAGER OF ENGINEERING SERVICES WILL MAKE THIS DETERMINATION. THESE PAYMENTS SHALL BE MADE THROUGH THE ENGINEERING SERVICES DEPARTMENT. UPON COMPLETION OF THE WORK A REFUND OR AN ADDITIONAL BILL WILL BE ISSUED BASED UPON ACTUAL WORKING DAYS. THE CONTRACTOR MUST NOTIFY, IN WRITING, THE DIRECTOR OF THE BWS CONSTRUCTION DIVISION, SEVEN (7) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. THIS WILL ALLOW THE COMMISSION SUFFICIENT TIME TO SCHEDULE FIELD INSPECTION.

INSPECTION SIGNOFFS

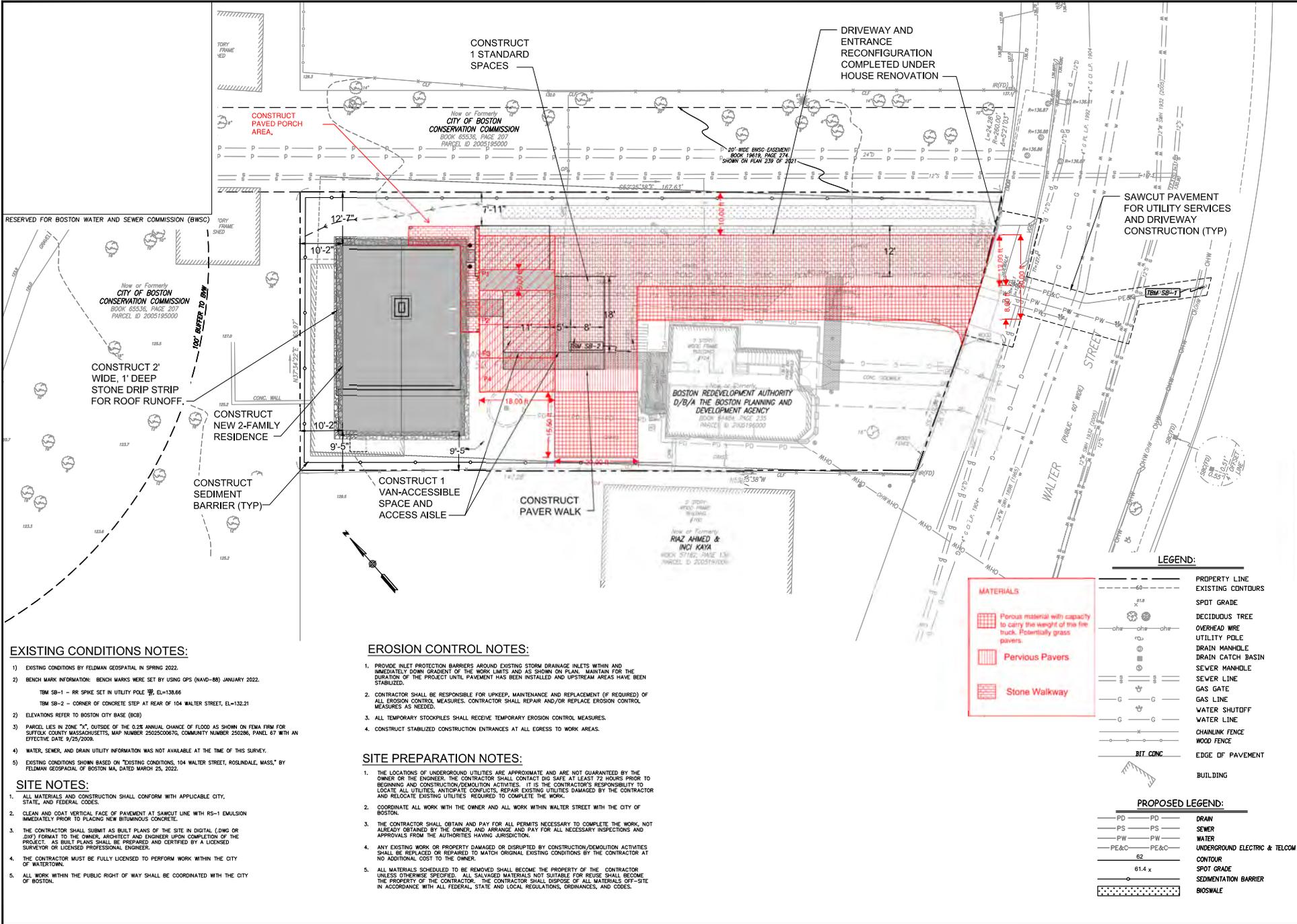
	INSPECTOR	DATE
1 CONNECTION TO EXISTING WATER MAIN		
2 CONNECT TO EXISTING SEWER		
3 DRYWELL		

LEGEND:

	PROPERTY LINE EXISTING CONTOURS
	SPOT GRADE
	DECIDUOUS TREE
	OVERHEAD WIRE
	UTILITY POLE
	DRAIN MANHOLE
	DRAIN CATCH BASIN
	SEWER MANHOLE
	SEWER LINE
	GAS GATE
	GAS LINE
	WATER SHUTOFF
	WATER LINE
	CHAINLINK FENCE
	WOOD FENCE
	EDGE OF PAVEMENT
	BUILDING

PROPOSED LEGEND:

	PD	DRAIN
	PS	SEWER
	PW	WATER
	PE&C	UNDERGROUND ELECTRIC & TELCO
	82	CONTOUR
	61.4 x	SPOT GRADE
	61.4 x	SEDIMENTATION BARRIER
	Bioswale	BIOSWALE



EXISTING CONDITIONS NOTES:

- EXISTING CONDITIONS BY FELDMAN GEOSPATIAL IN SPRING 2022.
- BENCH MARK INFORMATION: BENCH MARKS WERE SET BY USING GPS (NAVD-88) JANUARY 2022.
 TBM SB-1 - RR SPIKE SET IN UTILITY POLE #E-138.66
 TBM SB-2 - CORNER OF CONCRETE STEP AT REAR OF 104 WALTER STREET, EL=132.21
- ELEVATIONS REFER TO BOSTON CITY BASE (893)
- PARCEL LIES IN ZONE "C", OUTSIDE OF THE 100 YEAR ANNUAL CHANCE OF FLOOD AS SHOWN ON FEMA FIRM FOR SUFFOLK COUNTY MASSACHUSETTS, MAP NUMBER 2502C00670, COMMUNITY NUMBER 25028, PANEL B7 WITH AN EFFECTIVE DATE 9/25/2009.
- WATER, SEWER, AND DRAIN UTILITY INFORMATION WAS NOT AVAILABLE AT THE TIME OF THIS SURVEY.
- EXISTING CONDITIONS SHOWN BASED ON "EXISTING CONDITIONS, 104 WALTER STREET, ROSLINDALE, MASS.," BY FELDMAN GEOSPATIAL OF BOSTON MA, DATED MARCH 25, 2022.

SITE NOTES:

- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE CITY, STATE, AND FEDERAL CODES.
- CLEAN AND COAT VERTICAL FACE OF PAVEMENT AT SAWCUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- THE CONTRACTOR SHALL SUBMIT AS BUILT PLANS OF THE SITE IN DIGITAL (DWG OR DXF) FORMAT TO THE OWNER, ARCHITECT AND ENGINEER UPON COMPLETION OF THE PROJECT. AS BUILT PLANS SHALL BE PREPARED AND CERTIFIED BY A LICENSED SURVEYOR OR LICENSED PROFESSIONAL ENGINEER.
- THE CONTRACTOR MUST BE FULLY LICENSED TO PERFORM WORK WITHIN THE CITY OF WATERTOWN.
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF BOSTON.

EROSION CONTROL NOTES:

- PROVIDE INLET PROTECTION BARRIERS AROUND EXISTING STORM DRAINAGE INLETS WITHIN AND IMMEDIATELY DOWN GRADIENT OF THE WORK LIMITS AND AS SHOWN ON PLAN. MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED AND UPSTREAM AREAS HAVE BEEN STABILIZED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR UPKEEP, MAINTENANCE AND REPLACEMENT (IF REQUIRED) OF ALL EROSION CONTROL MEASURES. CONTRACTOR SHALL REPAIR AND/OR REPLACE EROSION CONTROL MEASURES AS NEEDED.
- ALL TEMPORARY STOCKPILES SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES.
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES AT ALL EGRESS TO WORK AREAS.

SITE PREPARATION NOTES:

- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. THE CONTRACTOR SHALL CONTACT DIG SAFE AT LEAST 72 HOURS PRIOR TO BEGINNING AND CONSTRUCTION/DEMOLITION ACTIVITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES DAMAGED BY THE CONTRACTOR AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
- COORDINATE ALL WORK WITH THE OWNER AND ALL WORK WITHIN WALTER STREET WITH THE CITY OF BOSTON.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS NECESSARY TO COMPLETE THE WORK, NOT ALREADY OBTAINED BY THE OWNER, AND ARRANGE AND PAY FOR ALL NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
- ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL SALVAGED MATERIALS NOT SUITABLE FOR REUSE SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES, AND CODES.

HABITAT FOR HUMANITY BPDA
 104 WALTER STREET
 ROSLINDALE, MASSACHUSETTS

Prepared for:
ADAPTIV Architecture & Planning
 BEVERLY, MASSACHUSETTS

SCALE IN FEET
 1"=10'

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104R & 106R SITE PLAN

No.	Revision/Issue	Date

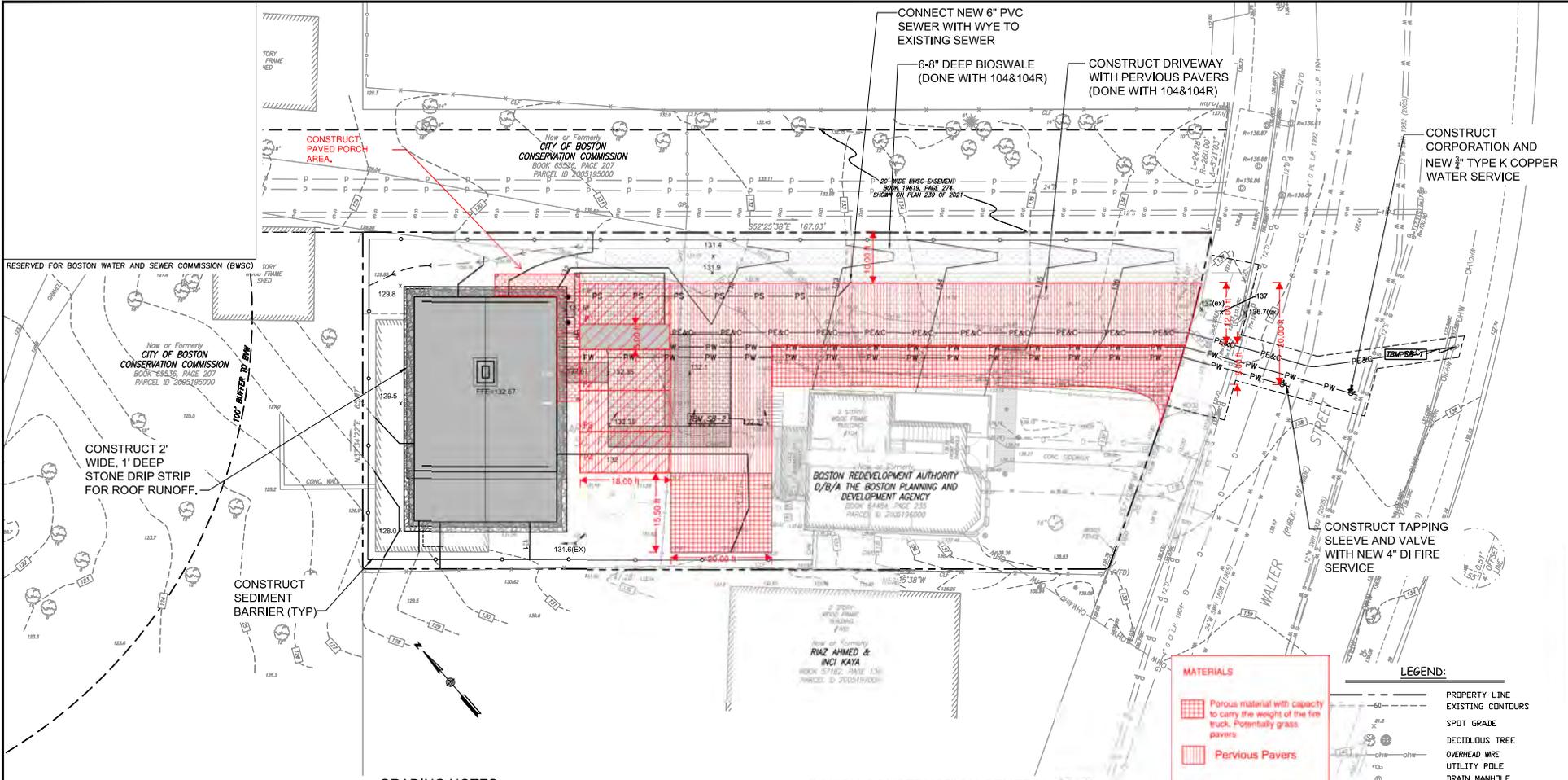
Design by: SPM	Checked by: PFA
Drawn by: SPM	Approved by: PFA
Project: 22002	Date: November 14, 2022
Sheet: C-001-B	



104R & 106 GRADING, DRAINAGE AND UTILITIES PLAN

No.	Revision/Issue	Date

Design by: SPM	Checked by: PFA
Drawn by: SPM	Approved by: PFA
Project: 22002	Date: November 14, 2022
Sheet:	



EXISTING CONDITIONS NOTES:

- EXISTING CONDITIONS BY FELDMAN GEOSPATIAL IN SPRING 2022.
- BENCH MARK INFORMATION: BENCH MARKS WERE SET BY USING GPS (NAVD-88) JANUARY 2022.
TBM SB-1 - RR SPIKE SET IN UTILITY POLE # EL=138.66
TBM SB-2 - CORNER OF CONCRETE STEP AT REAR OF 104 WALTER STREET, EL=132.21
- ELEVATIONS REFER TO BOSTON CITY BASE (893)
- PARCEL LIES IN ZONE "C", OUTSIDE OF THE 100 YEAR ANNUAL CHANCE OF FLOOD AS SHOWN ON FEMA FIRM FOR SUFFOLK COUNTY MASSACHUSETTS, MAP NUMBER 25025C00670, COMMUNITY NUMBER 25026, PANEL 67 WITH AN EFFECTIVE DATE 9/25/2008.
- WATER, SEWER, AND DRAIN UTILITY INFORMATION WAS NOT AVAILABLE AT THE TIME OF THIS SURVEY.
- EXISTING CONDITIONS SHOWN BASED ON "EXISTING CONDITIONS, 104 WALTER STREET, ROSLINDALE, MASS." BY FELDMAN GEOSPATIAL OF BOSTON MA, DATED MARCH 25, 2022.

EROSION CONTROL NOTES:

- PROVIDE INLET PROTECTION BARRIERS AROUND EXISTING STORM DRAINAGE INLETS WITHIN AND IMMEDIATELY DOWN GRADIENT OF THE WORK LIMITS AND AS SHOWN ON PLAN. MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED AND UPSTREAM AREAS HAVE BEEN STABILIZED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR UPKEEP, MAINTENANCE AND REPLACEMENT (IF REQUIRED) OF ALL EROSION CONTROL MEASURES. CONTRACTOR SHALL REPAIR AND/OR REPLACE EROSION CONTROL MEASURES AS NEEDED.
- ALL TEMPORARY STOCKPILES SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES.
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES AT ALL EGRESS TO WORK AREAS.

GRADING NOTES

- CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE AND EXIT RAMPS ADJACENT TO THE BUILDING.
- ALL DISTURBED AREAS NOT OTHERWISE TREATED SHALL RECEIVE 4" LOAM AND HYDROSEED
- COMPACTION DENSITY REQUIREMENTS:

LOCATION	MINIMUM DENSITY*
BELOW PAVED OR CONCRETE AREAS	95%
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL	95%
BELOW LOAM AND SEED AREAS	90%

*ALL PERCENTAGES SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT. A DETERMINED AND CONTROLLED IN ACCORDANCE WITH AASHTO STANDARD 180, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH AASHTO STANDARD T-191, T-204, OR T-236 AND T-239.

UTILITIES NOTES:

- THE CONTRACTOR SHALL CONTACT "DISSAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE "DISSAFE" NUMBER ON-SITE AT ALL TIMES.
- THE LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATION IS NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE CITY AND STATE CODES.
- WATER LINES SHALL HAVE A MINIMUM OF 5' COVER OR PER BOSTON WATER AND SEWER COMMISSION STANDARDS, WHICH EVER IS MORE STRINGENT.
- ALL WATER VALVES TO OPEN PER BOSTON WATER AND SEWER COMMISSION (BWS) STANDARDS.
- COORDINATE LEAKAGE AND DEAIRATION TESTING OF WATER CONSTRUCTION WITH THE BOSTON WATER AND SEWER COMMISSION.

NOTE: THE HORIZONTAL LOCATION OF EXISTING UTILITIES IS BASED ON RECORD INFORMATION AND FIELD SURVEY OF SURFACE FEATURES. ASSUMPTION OF VERTICAL DEPTH OF NON-GRAVITY UTILITIES IS BASED ON THE FOLLOWING STANDARDS:
 WATER - 5' COVER
 GAS - 5' OF COVER
 ELECTRIC - 2' OF COVER
 FIBER - 2' OF COVER

ROUGH CONSTRUCTION GENERAL NOTE

1. A PREREQUISITE FOR FILING A GENERAL SERVICE APPLICATION WITH THE BOSTON WATER AND SEWER COMMISSION FOR NEW CONSTRUCTION IS THE BIDDING CONSTRUCTION LIGHT-OFF DOCUMENT FROM THE CITY OF BOSTON'S INSPECTIONAL SERVICES DEPARTMENT. AN INSPECTION FEE WILL BE CHARGED FOR EACH WATER AND SEWER CONNECTION. TWENTY-FOUR (24) HOURS ADVANCED NOTICE IS REQUIRED FOR INSPECTION SCHEDULING. IF ANY INSPECTION DATE IS CANCELLED ON THE WEEKENDS, HOLIDAY OR AFTER REGULAR WORK HOURS, AND THE CONTRACTOR FAILS TO NOTIFY THE BWS INSPECTORS OF CANCELLATION IN ADVANCE, AN ADDITIONAL INSPECTION FEE WILL BE CHARGED TO THE CONTRACTOR WHEN THE JOB IS SUBSEQUENTLY RESCHEDULED.

ALL CONSTRUCTION WORK PERFORMED ON BWS SYSTEMS OR CONSTRUCTION WORK PERFORMED ON SYSTEMS WHOSE OWNERSHIP MAY BE TRANSFERRED TO THE BWS MUST BE INSPECTED BY A BWS CONSTRUCTION INSPECTOR AT THE DEVELOPER'S EXPENSE. THE CONTRACTOR WILL BE CHARGED THE CURRENT BWS RATE PER DIEM BASED UPON ESTIMATED WORK DAYS THROUGH THE COMPLETION OF THE PROJECT. THE MANAGER OF ENGINEERING SERVICES WILL MAKE THIS DETERMINATION. THESE PAYMENTS SHALL BE MADE THROUGH THE ENGINEERING SERVICES DEPARTMENT. UPON COMPLETION OF THE WORK A REFUND OR AN ADDITIONAL BILL WILL BE ISSUED BASED UPON ACTUAL WORKING DAYS. THE CONTRACTOR MUST NOTIFY, IN WRITING, THE DIRECTOR OF THE BWS CONSTRUCTION DIVISION, SEVEN (7) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. THIS WILL ALLOW THE COMMISSION SUFFICIENT TIME TO SCHEDULE FIELD INSPECTION.

INSPECTION SIGNOFFS

	INSPECTOR	DATE
1 CONNECTION TO EXISTING WATER MAIN		
2 CONNECT TO EXISTING SEWER		

MATERIALS

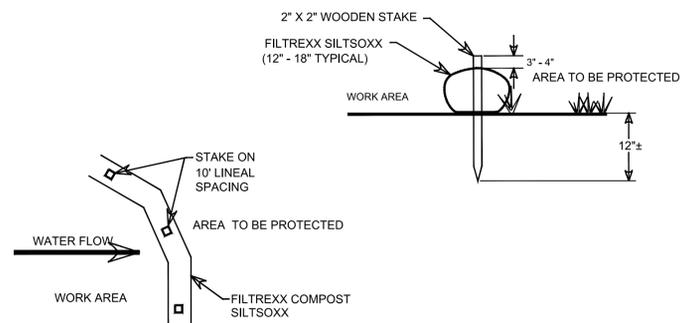
- Porous material with capacity to carry the weight of the fire truck. Potentially grass pavers.
- Pervious Pavers
- Stone Walkway

LEGEND:

- PROPERTY LINE
- EXISTING CONTOURS
- SPOT GRADE
- DECIDUOUS TREE
- OVERHEAD WIRE
- UTILITY POLE
- DRAIN MANHOLE
- DRAIN CATCH BASIN
- SEWER MANHOLE
- SEWER LINE
- GAS GATE
- GAS LINE
- WATER SHUTOFF
- WATER LINE
- CHANLINK FENCE
- WOOD FENCE
- EDGE OF PAVEMENT
- BUILDING

PROPOSED LEGEND:

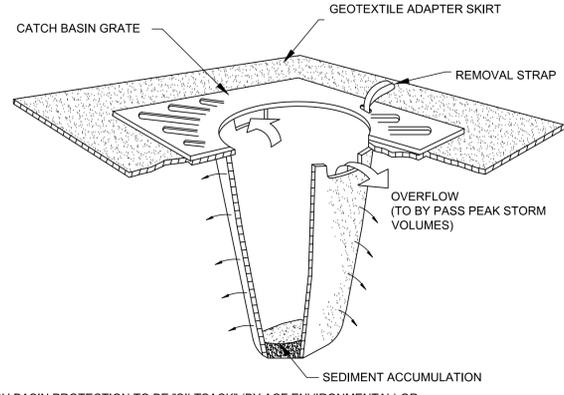
- PD PD DRAIN
- PS PS SEWER
- PW PW WATER
- PE&C PE&C UNDERGROUND ELECTRIC & TELCO
- 82
- 614 x
- SEDIMENTATION BARRIER
- BIOSWALE



1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS
2. SILTSSOXX COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.
3. SILTSSOXX SHALL BE INSTALLED PERPENDICULAR TO THE SLOPE AND PER MANUFACTURER'S RECOMMENDATIONS
4. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

SEDIMENTATION BARRIER

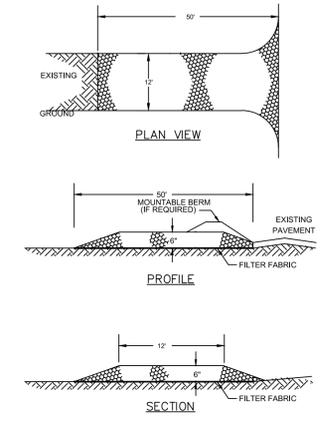
NOT TO SCALE



- NOTES:**
1. CATCH BASIN PROTECTION TO BE "SILTSAK" (BY ACF ENVIRONMENTAL) OR "STREAM GUARD" (BY FOSS ENVIRONMENTAL SERVICES) OR EQUAL.
 2. INSERT TO BE EMPTIED AND PROPERLY DISPOSED OF WHEN IT IS 1/2 FULL OF SEDIMENT.
 3. INSPECT INSERT AFTER ALL RAINFALL EVENTS, REPAIR AND MAINTAIN AS REQUIRED.
 4. INSTALL INLET PROTECTION BARRIERS IN ALL EXISTING AND PROPOSED CATCH BASINS WITHIN AND IMMEDIATELY DOWN STREAM OF THE AREA OF WORK.

INLET PROTECTION

NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

STONE SIZE - SEE GRADATION TABLE

LENGTH - 50 FOOT MINIMUM.

THICKNESS - SIX (6) INCHES (MINIMUM).

WIDTH - 12' MINIMUM

FILTER FABRIC - MIRAFI 600X OR APPROVED EQUAL.

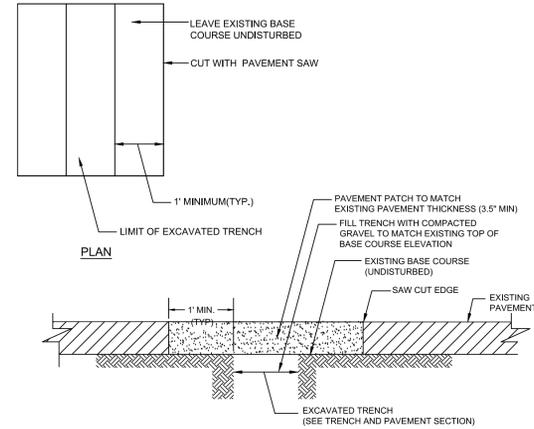
INSTALLATION: THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. A ROAD STABILIZATION FILTER CLOTH CAN BE PLACED ON THE SUBGRADE PRIOR TO THE GRAVEL PLACEMENT TO PREVENT PLUMPING. THE GRAVEL SHALL BE PLACED TO THE SPECIFIED DIMENSIONS.

MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

CRUSHED STONE GRADATION TABLE	
SIEVE SIZE	% PASSING BY WEIGHT
2 inches	100
1 1/2 inches	90-100
1 inch	20-55
3/4 inch	0-15
3/8 inch	0-5

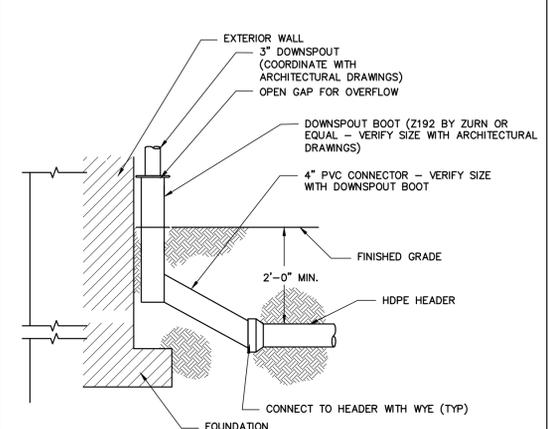
STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



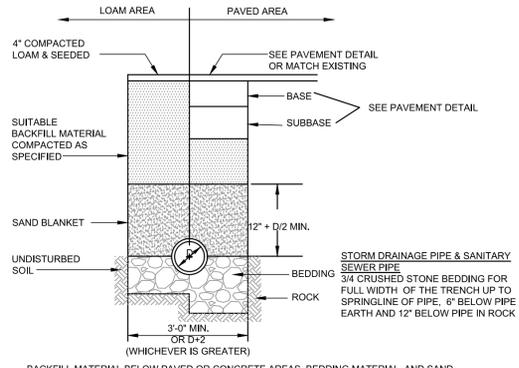
TRENCH PATCH

NOT TO SCALE



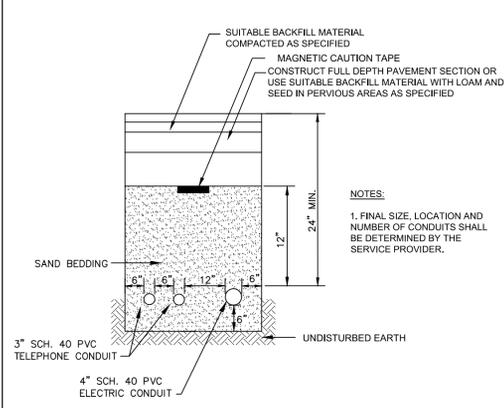
TYPICAL DOWNSPOUT CONNECTION

NOT TO SCALE



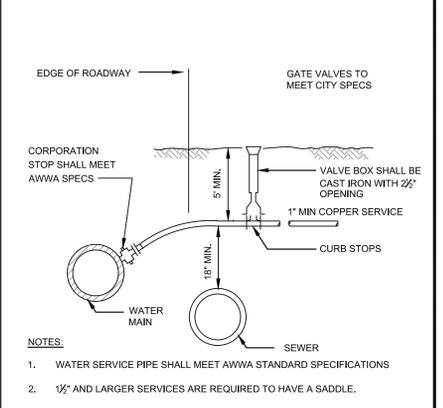
SEWER/RAIN TRENCH

NOT TO SCALE



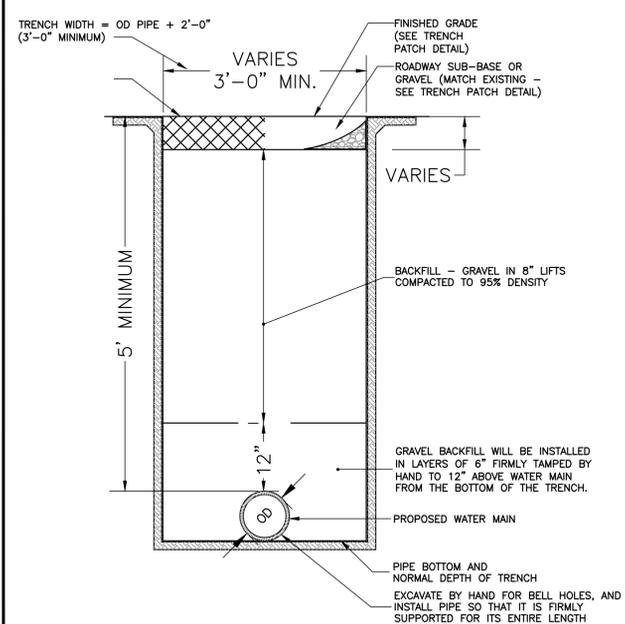
ELECTRIC & COMMUNICATIONS TRENCH

NOT TO SCALE



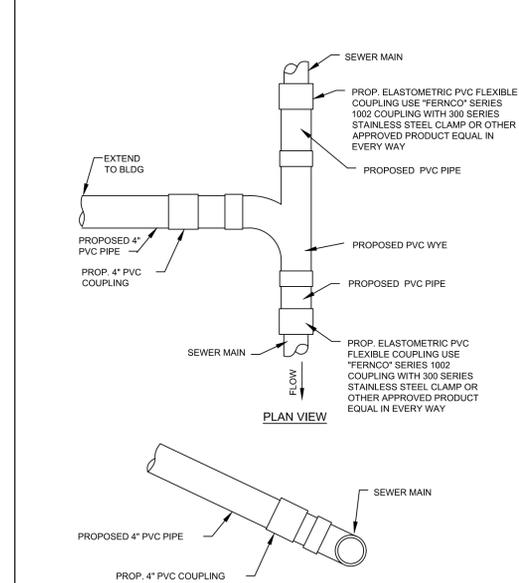
TYPICAL SERVICE CONNECTION

NOT TO SCALE



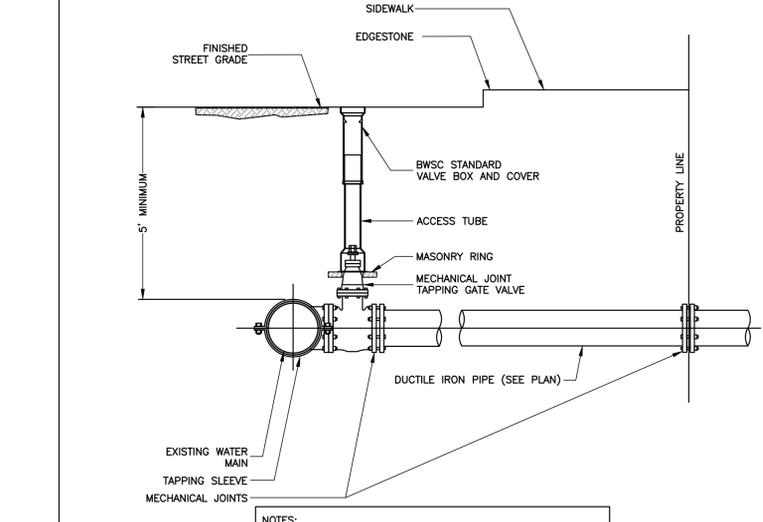
WATER MAIN TRENCH

NOT TO SCALE



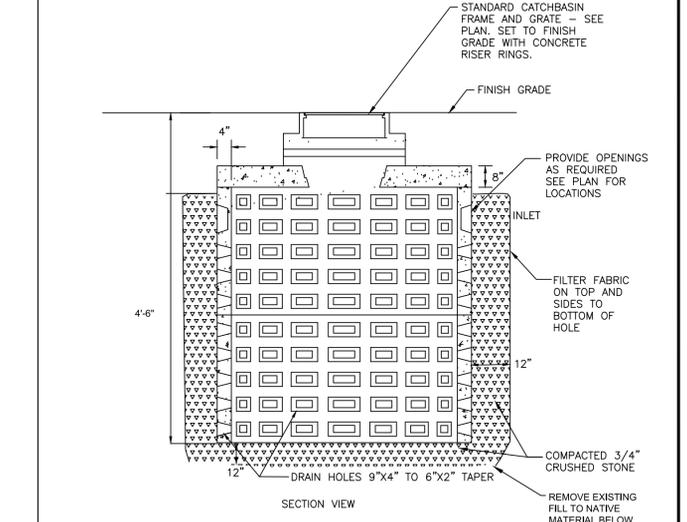
SEWER CONNECTION

NOT TO SCALE



TAPPING SLEEVE AND VALVE

NOT TO SCALE



8' DIAMETER DRYWELL

NOT TO SCALE

- NOTES:**
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. COVER AND WALLS SHALL CONFORM TO H-20 LOADING REQUIREMENTS.
 3. RAISE FRAME AND GRATE WITH CONCRETE RISER RINGS OR BRICK AND MORTAR AS REQUIRED TO SET TO FINISH GRADE.

Site:
HABITAT FOR HUMANITY BPDA
104 WALTER STREET
ROSLINDALE, MASSACHUSETTS

Prepared for:
ADAPTIV Architecture & Planning
BEVERLY, MASSACHUSETTS



OCG

Oak Consulting Group
P.O. Box 1123
Newburyport, MA 01950
Ph. 978.312.3120

SITE DETAILS

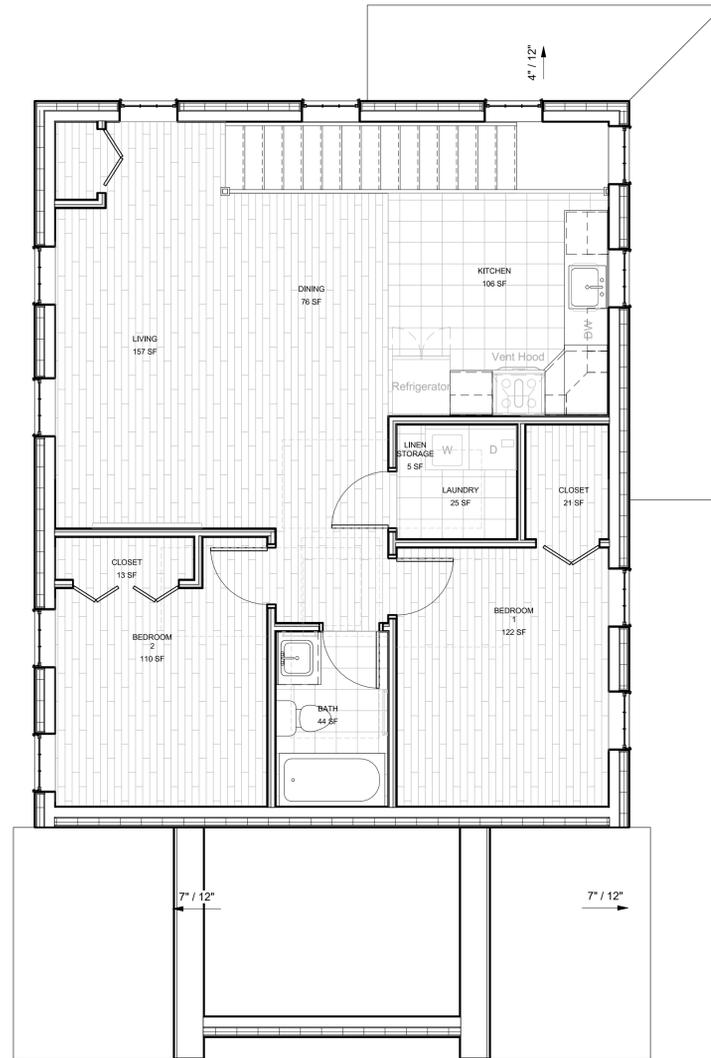
No.	Revision/Issue	Date

Design by: SPM	Checked by: PFA
Drawn by: SPM	Approved by: PFA
Project: 22002	Date: October 24, 2022

Sheet:
C-003



1 BARN LEVEL 1 FINISH FLOOR PLAN - UNIT 104R
SCALE 1/4" = 1'-0"



2 BARN LEVEL 2 FINISH FLOOR PLAN - UNIT 106R
SCALE 1/4" = 1'-0"

FINISH SCHEDULE BARN HOUSE								
UNIT	ROOM NAME	FLOOR	WALL				CEILING	ROOM WINDOW TREATMENT
			EAST	NORTH	SOUTH	WEST		
LIVING/DINING								
UNIT 3	ADA BATH	VS1	PT3	PT3	PT3	PT3	PT1	
UNIT 3	BEDROOM 1	WD1	PT2	PT2	PT2	PT2	PT1	WT1
UNIT 3	BEDROOM 2	WD1	PT2	PT2	PT2	PT2	PT1	WT1
UNIT 3	BEDROOM 3	WD1	PT2	PT2	PT2	PT2	PT1	
UNIT 3	CLOSET	WD1	PT2	PT2	PT2	PT2	PT1	
UNIT 3	CLOSET	WD1	PT2	PT2	PT2	PT2	PT1	
UNIT 3	COAT CLOSET	WD1	PT2	PT2	PT2	PT2	PT1	
UNIT 3	DINING	WD1	PT2	PT2	PT2	PT2	PT1	
UNIT 3	HALF BATH	VS1	PT3	PT3	PT3	PT3	PT1	
UNIT 3	KITCHEN	VS1	PT2	PT2	PT2	PT2	PT1	
UNIT 3	LAUNDRY	VS1	PT2	PT2	PT2	PT2	PT1	
UNIT 3	LINEN STORAGE	VS1	PT1	PT1	PT1	PT2	PT1	
UNIT 3	LIVING	WD1	PT5	PT5	PT2	PT5	PT1	WT1
UNIT 3	MECH	PC	PT2	PT2	PT1	PT1	PT1	
UNIT 3	PANTRY	WD1	PT2	PT2	PT2	PT2	PT1	
UNIT 4	BATH	VS1	PT3	PT3	PT3	PT3	PT1	
UNIT 4	BEDROOM 1	WD1	PT2	PT2	PT2	PT2	PT1	WT1
UNIT 4	BEDROOM 2	WD1	PT2	PT2	PT2	PT2	PT1	WT1
UNIT 4	CLOSET	WD1	PT2	PT2	PT2	PT2	PT1	
UNIT 4	CLOSET	WD1	PT2	PT2	PT2	PT2	PT1	
UNIT 4	COAT CLOSET	WD1	PT2	PT2	PT2	PT2	PT1	
UNIT 4	DINING	WD1	PT2	PT2	PT2	PT2	PT1	
UNIT 4	KITCHEN	VS1	PT2	PT2	PT2	PT2	PT1	
UNIT 4	LAUNDRY	VS1	PT2	PT2	PT2	PT2	PT1	
UNIT 4	LINEN STORAGE	WD1	PT2	PT2	PT2	PT2	PT1	
UNIT 4	LIVING	WD1	PT2	PT2	PT2	PT2	PT1	WT1

GENERAL NOTES: FINISH SPECIFICATIONS

WD-001	Bamboo Sustainable Flooring	Throughout unless otherwise noted
VS-001	Vinyl Sheet Flooring Tile	Bathrooms, Kitchen, Laundry
PT-001	Painted Gypsum Drywall - Ceilings	1 coat of latex-base primer and 1 coat latex-base interior flat (ceiling white)
PT-002	Painted Gypsum Drywall - Walls	1 coat latex-base primer and 2 coats interior latex-base eggshell paint.
PT-003	Painted Gypsum Drywall - Bathrooms	1 coat latex-base primer and 2 coats interior latex-base semigloss paint.
PC	Polished Concrete - Flooring	

Notes:
The paints will be low- or no-VOC paints.
Cord-free and child-safe window treatments and window guards.

GENERAL NOTES: EXTERIOR MATERIALS

Panel Vertical Siding	Smooth finish, arctic white
Trim Boards	Smooth finish, arctic white, batten boards
Shingle Siding	Straight edge panel, arctic white

PROJECT
BPDA
104 & 104A WALTER STREET
ROSLINDALE, MA

CLIENT
Habitat for Humanity
GREATER BOSTON

ARCHITECT
adaptiv

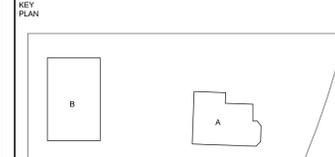
CIVIL ENGINEER
OCG
Oak Consulting Group

LANDSCAPE ARCHITECT
BELLALTA 3 DESIGN

STRUCTURAL ENGINEER
SIEGEL ASSOCIATES
STRUCTURAL ENGINEERS

MEP ENGINEER
RDH
Making Buildings Better™

NO.	DATE	DESCRIPTION



BARN HOUSE FINISH PLANS AND SCHEDULE

DRAWING TITLE

SCALE: 1/4" = 1'-0" DATE: 10/25/2022

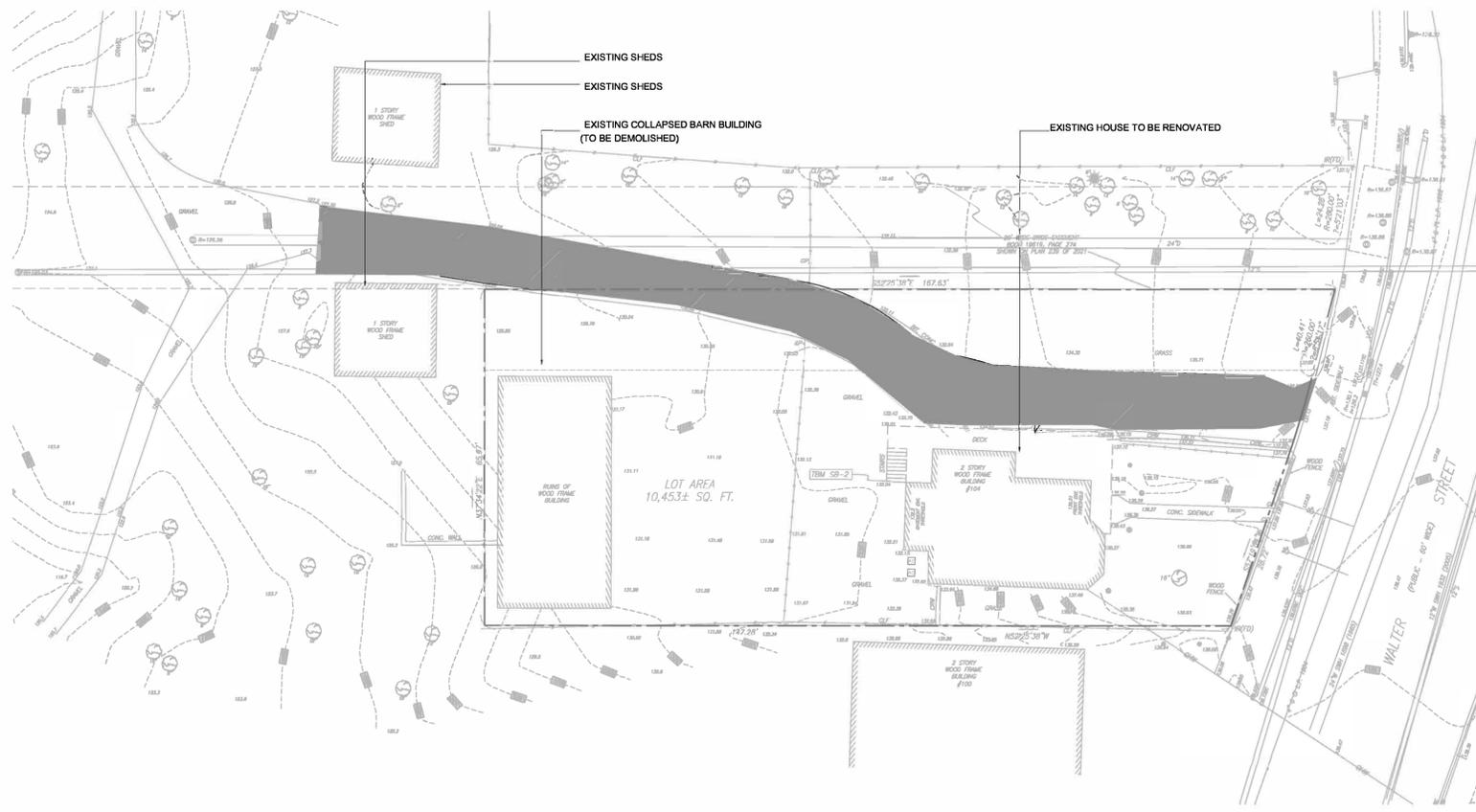
JOB NUMBER: #####

SUBMISSION: DESIGN DEVELOPMENT BARN HOUSE

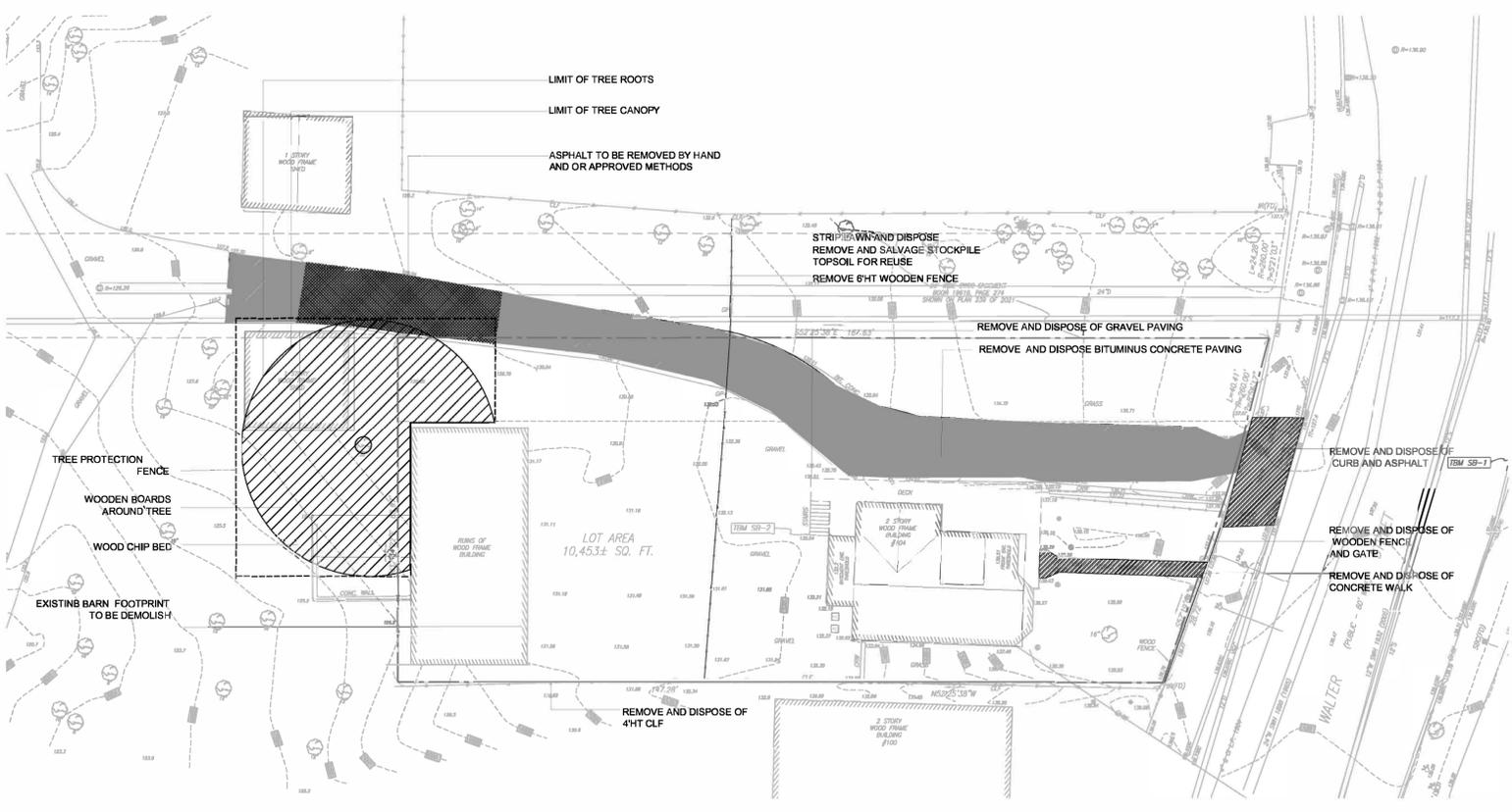
DRAWING NUMBER
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10/17/2023 14:48:28
Autodesk Docs/Habitat for Humanity - 104 WALTER STREET - 20220202-10-04 CURRENT 2022 HF PCB 104 WALTER STREET/REV A1
BPDA

THE ORIGINAL OF THIS DRAWING IS 24" X 36". IF THIS COPY IS ANY OTHER SIZE, IT HAS EITHER BEEN REDUCED OR ENLARGED. TAKE APPROPRIATE PRECAUTIONS ACCORDINGLY.



1 EXISTING CONDITION PLAN
SCALE: 1/16" = 1' - 0"



2 TREE PROTECTION & SITE DEMOLITION PLAN
SCALE: 1/16" = 1' - 0"

TREE PROTECTION

SUMMARY

1. Installation of tree protection fence and protection of one existing Sugar Maple located in the tree protection zone ("TPZ") as described and as shown on the plan entitled "Tree Protection Plan", July 22, 2022.
2. Selective thinning and pruning within the TPZ.
3. Tree Fertilization within the TPZ.
4. Removal and disposal of paving and grub material within the TPZ in accordance with the demolition plan.

PERSONNEL QUALIFICATIONS

1. All arboricultural work under this section shall be performed by personnel totally familiar with arboricultural work and under the supervision of an experienced professional arborist and foreman at all times.
2. Pruning shall be performed by tree workers who, through a minimum of five years related training and on-the-job experience, are familiar with the techniques and hazards of this work.

REGULATORY REQUIREMENTS / PERMITS AND CODES

- A. Comply with all rules, regulations, laws and ordinances of local, state and federal authorities having jurisdiction. Provide labor, materials, equipment and services necessary to make work comply with such requirements without additional cost to Owner.
- B. Procure and pay for permits and licenses required for work.

SPECIAL SITE LIMITATIONS

- A. The Contractor's attention is called to the fact that the area within the TPZ shall remain off-limits to the Contractor except for completing the very limited and specific work called for on the Drawings during Pre-Construction Phase. Construction operations within the TPZ must be performed in a manner that will preserve the existing trees and site. All work carried out within the TPZ must have the approval of the City of Boston Representative, Habitat for Humanity Greater Boston Representative, Certified Arborist, and Landscape Architect.
- B. Clearly mark all clearing limits in the field and accompany City of Boston representative, Habitat for Humanity Greater Boston representative, Certified Arborist and Landscape Architect on a joint review of clearing limits before clearing operations have commenced. Limit of clearing is generally defined as the limit of grading.

EXISTING CONDITIONS

- A. Environmental Conditions
 1. Pruning: Pruning shall occur according to the Standard Industry Arboricultural practices and prior to any site construction. Pruning shall only occur when weather conditions are favorable; pruning shall not occur when branches are wet with rain. Pruning of trees with pests shall be coordinated with the timing of pest life cycles.
 2. Fertilization: Spring fertilization shall occur according to Standard Industry Arboricultural practices. Slow release fertilizer is to be applied on a flexible schedule.
 3. Soil aeration and amelioration: Renovation of the soil under existing trees shall occur after pruning of trees and before installation of protective mulch layer.
 4. Pest control: Avoid use of fertilizer/herbicide combinations within the drip-line of trees in plant beds. Avoid use of herbicides within planting bed.

TREE PROTECTION

- A. Tree protection shall be achieved by installing a permanent 6ft. Chain Link Fence, and in accordance with the Tree Protection Plans
 1. Steel posts shall be 2" O.D. nominal, of sufficient length to allow for installation to a depth of 2ft. below ground level and 6ft. above ground level. Posts shall be spaced a maximum of 8ft. o.c.
 2. Top and Bottom Rails shall be 1 1/2" O.D. nominal, to be installed on all fence sections.
 3. All steel shall be galvanized.
 4. Fence fabric shall be 6-foot high, 11-gauge steel core with uniform square mesh measuring approximately 2" between its parallel sides.
- A. Tree Protection Signs shall be made of a weather resistant material, be at least 2'x3' in size. Signs shall have a white background with bold black lettering indicating "PROTECTED TREES: DO NOT ENTER OR DISTURB" or similar approved wording.
- B. Wood Chip Mulch shall be approved by the Certified Arborist.
- C. Water shall be potable and suitable for use on plants.
- D. Slow release fertilizer shall be reviewed and approved by the Certified Arborist prior to use.

WATERING / INSECT AND DISEASE CONTROL

- A. Trees within the TPZ shall be irrigated if recommended by Certified Arborist using a drip irrigation system installed by the General Contractor and monitored by the contractor and Certified Arborist. The trees shall be fertilized using a slow release, deep root fertilizer between November and April under the direction of the Certified Arborist. The arborist shall also recommend to the contractor, any remedial insect or disease control measures that may be required for trees and shrubs to remain healthy during the construction period.

FERTILIZER AND SOIL AMENDMENTS

- A. All tree fertilization shall comply with ANZI standards and will be applied with a standard deep root feeder needle and bulk tank using a pump at a pressure not to exceed 200 pounds.
- B. The fertilizer components shall consist of the following materials or the equivalent and approved by the Owner's Arborist.
 1. Doggett XL Tree Fertilizer for soil injection around root areas.
 2. MycorTree™ Insectable with Biopak (Mycorrhizal inoculants).
 3. Terra-Sorb™ Medium Hydrogel.

TREE PRUNING

- A. No pruning of existing trees shall take place without approval from the Owner's Arborist. The Contractor shall engage certified arborists who shall be responsible to perform all work of tree pruning only after having been approved by the Owner and the Certified Arborist. All pruning shall be conducted in accordance to ANSI Standards.
- B. Tree pruning shall include the following minimum work requirements.
 1. Crown cleaning of broken and/or diseased limbs and dead wood greater than 2 inches in diameter and selective pruning as directed by the Certified Arborist.
 2. Upbranching as directed by the Certified Arborist and Landscape Architect.
 3. All tree pruning work must be approved by the Certified Arborist before final payment is made.
 - a. Any damage done to existing tree crowns or root systems, including compensatory pruning for root loss, shall be repaired immediately by an approved Certified Arborist under observation by the City of Boston's Arborist at no cost to the City of Boston.
 - b. Any accidental injuries to the bark, trunk and branches shall be repaired immediately by pruning and trace cutting with a clean, sharp knife, as required.

EXECUTION

The Certified Arborist shall monitor excavations and construction within the Tree Protection Zone including being on site during all excavations within the Tree Protection Zone to ensure that hand or approved mechanical excavations does not damage existing root systems and to perform compensatory pruning. The construction that would occur within the Tree Protection Zone would include, but not be limited to, removal of barn foundation, existing paving, and planting and review of new building foundation and footings for of perimeter fencing.

CHAIN LINK FENCE

- A. The Chain Link Fence shall be installed along the Tree Protection Fence Line as indicated on the TPZ Plans.

ROOT PRUNING

- A. Where construction will be in close proximity to existing trees designated to remain, roots shall be pruned as needed. Proximity shall be as determined in the field by the Certified Arborist.
- B. Root pruning is the physical cutting of tree roots to minimize root damage and promote closure. Any method which tears roots or disturbs the soil beyond the grading limit is unacceptable.
- C. Backfill root pruning trench with existing soil mixed with peat moss or acceptable compost to a mixture of approximately 75% soil and 25% humus. Tamp lightly to set soil.

DISPOSAL OF CLEARED AND GRUBBED MATERIAL

- A. Any paving material located within the TPZ shall be removed by hand and/or with a small tractor equipped with a backhoe and bucket loader. The tractor will not be allowed off the existing walkway being removed. Do not encroach upon the protected tree root areas.
- B. Other materials and plants located within the TPZ shall be removed as directed by the Owner's Arborist.
- C. Upon completion of the operations, all debris shall be immediately removed from within the TPZ.
- D. Wood chips produced on site from felled trees may be used within the TPZ during construction for the purpose of a mulch bed within the TPZ.
- E. At the completion of operations, Contractor shall submit to the City of Boston a request to visit the site to review with the Certified Arborist the overall health and maintenance requirements.

PROHIBITIONS WITHIN THE TREE PROTECTION ZONE

1. No staging or stockpiling.
2. No heavy machinery.
3. Removal of site amenities, paving or plant material from within the TPZ without approval by the Habitat for Humanity, Greater Boston's Representative, Certified Arborist and Landscape Architect. The City of Boston's Arborist shall be present for any removal within the TPZ.

REMOVAL OF PROTECTION

- A. The removal of any and all temporary protection devices and facilities installed during the course of work for purposes of the protection of the trees in the TPZ must be approved by the City of Boston's Arborist, Habitat for Humanity, Greater Boston's Representative, Certified Arborist and Landscape Architect. Except as otherwise indicated or requested by the City of Boston's Arborist temporary protection devices and facilities shall be removed only after all work that may injure or damage trees and plants is completed.

PROJECT

BPDA

**104 WALTER STREET
ROSLINDALE, MA**

CLIENT

ARCHITECT

CIVIL ENGINEER

LANDSCAPE ARCHITECT

STRUCTURAL ENGINEER

MEP ENGINEER

NO.	DATE	DESCRIPTION

KEY PLAN

**EXISTING CONDITIONS PLAN
TREE PROTECTION PLAN
AND
SITE DEMOLITION PLAN**

DRAWING TITLE

SCALE AS NOTED **DATE** 10/21/22

JOB NUMBER #####

SUBMISSION

DRAWING NUMBER

LT-100

PROJECT	BPDA 104 WALTER STREET ROSLINDALE, MA
CLIENT	
ARCHITECT	
CIVIL ENGINEER	
LANDSCAPE ARCHITECT	
STRUCTURAL ENGINEER	
MEP ENGINEER	

NO.	DATE	DESCRIPTION
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NO.	DATE	DESCRIPTION
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KEY PLAN	
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PLANT LIST	
DRAWING TITLE	
SCALE	AS NOTED
DATE	10/21/22
JOB NUMBER	####

SUBMISSION	
DRAWING NUMBER	

LT-102

WALTER STREET PLANT LIST

October 21, 2022

TREES

Sym.	Qty	Latin Name	Common Name	Size	Comments
AR	2	Acer rubrum 'October Glory'	October Glory Red Maple	2" Cal.	B&B; Specimen
BP	2	Betula populifolia	Gray Birch	2" Cal.	B&B; Specimen
CF	1	Cornus florida 'Alba'	White Flowering Dogwood	2" Cal.	B&B; Specimen
GT	2	Gleditsia triacanthos 'inermis'	Thornless Honeylocust	2" Cal.	B&B; Specimen
NS	3	Nyssa sylvatica	Black Gum	3" Cal.	B&B; Specimen
OV	1	Oxydendrum arboreum	Sourwood	2" Cal.	B&B; Specimen
11		Subtotal			

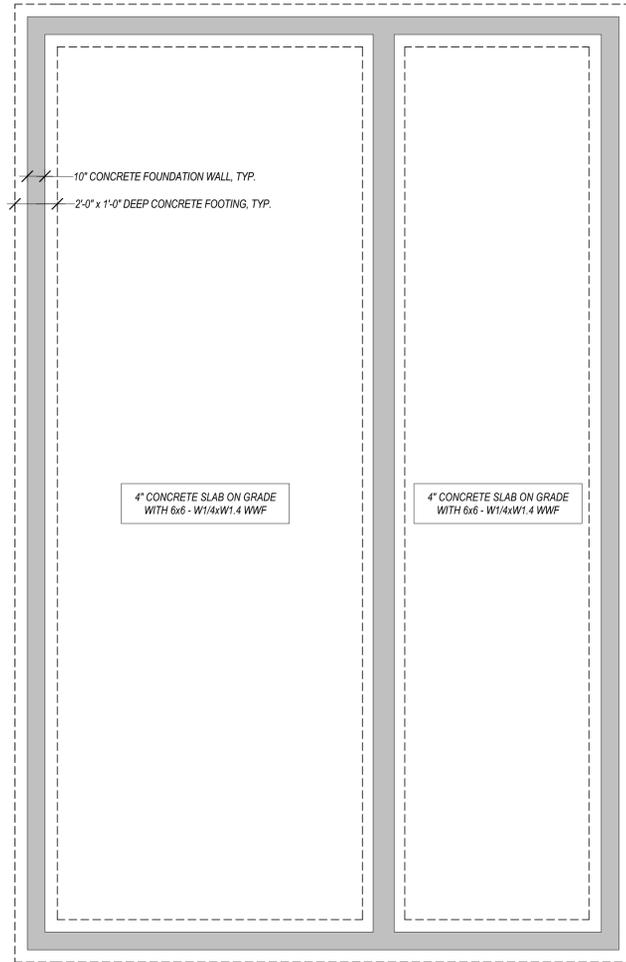
SHRUBS

Sym.	Qty	Latin Name	Common Name	Size	Comments
BG	20	Buxus x Green Velvet	Green Velvet Boxwood	2' ht.	B&B; Specimen
CA	6	Clethra alnifolia	Sweet Pepperbush	2' ht.	B&B; Specimen
CA	4	Clethra alnifolia 'Ruby Spice'	Sweet Pepperbush 'Ruby Spice'	3' ht.	B&B; Specimen
CS	4	Cornus sericea 'Arctic Fire'	Arctic Fire Red Osier Dogwood	2' ht.	B&B; Specimen
DG	3	Deutzia gracilis 'Nikko'	Dwarf Nikko Deutzia	1 1/2' ht.	5 Gallon
FG	12	Fothergilla 'Mt. Airy'	Dwarf Fothergilla	2' ht.	B&B; Specimen
HV	3	Hammamelis virginiana	Witch Hazel	4' ht.	B&B; Specimen
IG	21	Ilex glabra	Inkberry	3' ht.	B&B; Specimen
IV	17	Ilex verticillata	Winterberry	3' ht.	B&B; Specimen
LB	1	Lindera benzoin	Spicebush	3' ht.	B&B; Specimen
LF	18	Leucothoe fontanesiana 'Zebblid'	Zebblid Drooping Laurel	1 1/2' Sp	5 Gallon
RG	3	Rhododendron 'English Roseum'	English Roseum Rhododendrum	3' ht.	B&B; Specimen
TH	1	Taxus hicksii	Hicks Yew	3' ht.	B&B; Specimen
127		Subtotal			

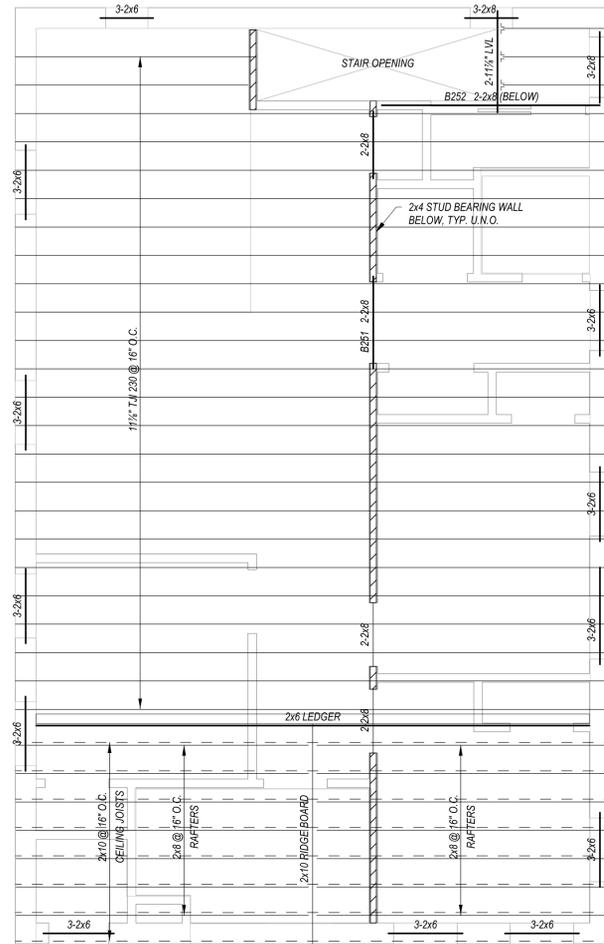
ORNAMENTAL GRASSES

Sym.	Qty	Latin Name	Common Name	Size	Comments
CM	289	Carex momowi 'Ice Dance'	Carex Ice Dance	3 Gallon	
SS	492	Schizachyrium scoparium	Little Blue Stem	Plugs	
Ag	84	Agastache 'Blue Boar'	Hyssop 'Blue Boar'	3 Gallon	
570		Subtotal			

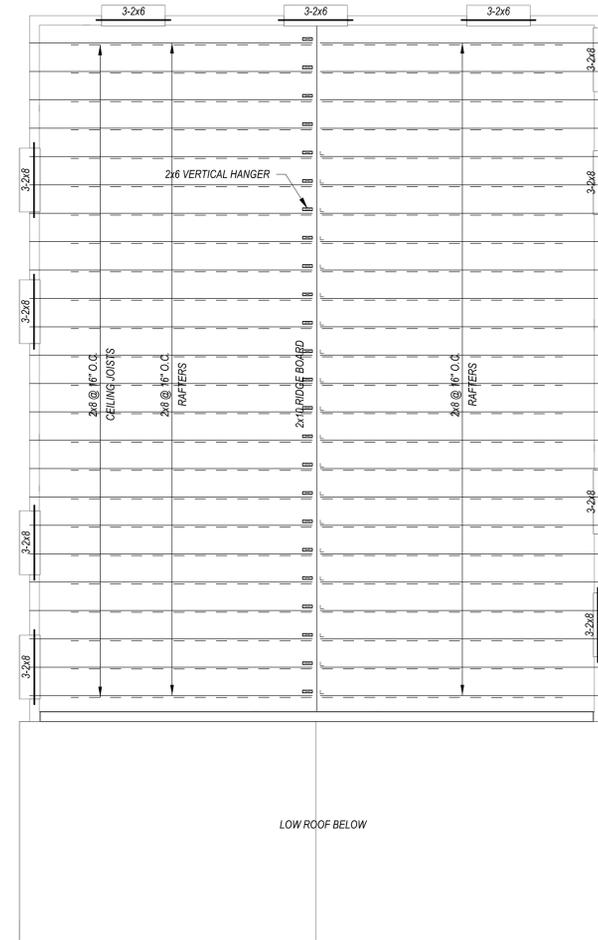
1 PLANT LIST
NTS



1 FOUNDATION PLAN - BARN HOUSE
Scale: 1/4" = 1'-0"



2 SECOND FLOOR FRAMING PLAN - BARN HOUSE
Scale: 1/4" = 1'-0"



3 ROOF FRAMING PLAN - BARN HOUSE
Scale: 1/4" = 1'-0"

PROJECT
104 WALTER HABITAT
104 WALTER STREET, ROSLINDALE, MA

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GREATER BOSTON

ARCHITECT
 adaptiv

CIVIL ENGINEER

LANDSCAPE ARCHITECT
 BELLALTA 3 DESIGN

STRUCTURAL ENGINEER
 SIEGEL ASSOCIATES
STRUCTURAL ENGINEERS
300 Walnut Street
Boston, MA 02110

MEP ENGINEER
 RDH
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NO.	DATE	DESCRIPTION

KEY PLAN

BARN FRAMING PLANS

DRAWING TITLE	
SCALE	1/4" = 1'-0"
DATE	10/24/2022
JOB NUMBER	222046
SUBMISSION	DD SET
DRAWING NUMBER	S1.03

LOT AREA: 10, 150 SF

ZONING DISTRICT: ROSLINDALE NEIGHBORHOOD
 ZONING SUBDISTRICT: 2F-5000
 SUBDISTRICT TYPE: TWO-FAMILY RESIDENTIAL

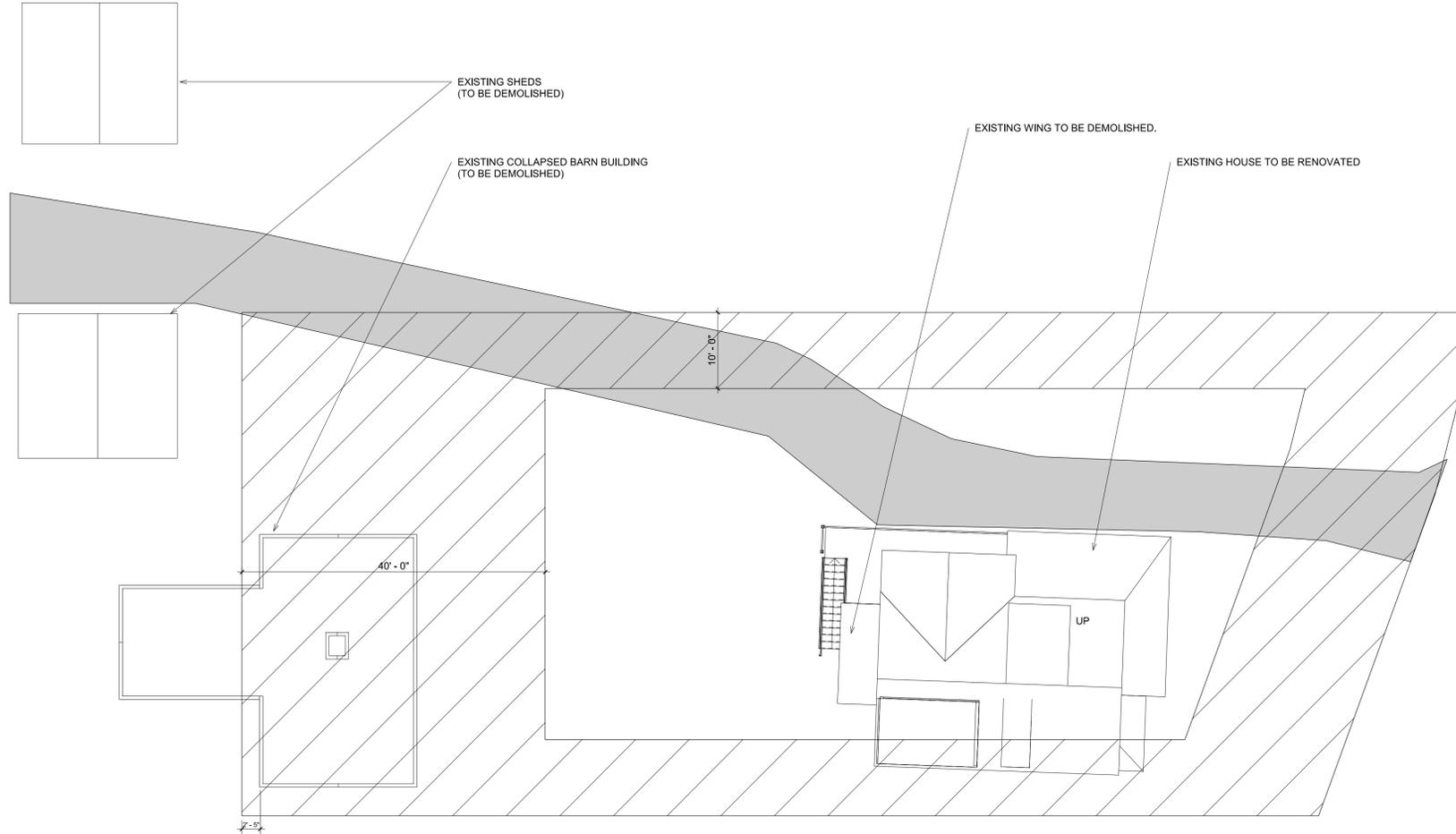
TWO-FAMILY RESIDENTIAL ("2F") SUBDISTRICTS. THE TWO-FAMILY RESIDENTIAL ("2F") SUBDISTRICTS ARE ESTABLISHED TO PRESERVE, MAINTAIN AND PROMOTE TWO-FAMILY NEIGHBORHOODS, TO PRESERVE EXISTING STRUCTURES, TO PROVIDE FOR NEW INFILL CONSTRUCTION APPROPRIATE TO THE EXISTING FABRIC. IN A 2F SUBDISTRICT, THE MAXIMUM NUMBER OF DWELLING UNITS ALLOWED IN A SINGLE BUILDING SHALL BE TWO (2).

LOT 108 IS CONSIDERED PART OF THE CPS SUBDISTRICT, ROSLINDALE WETLANDS CONSERVATION PROTECTIONS (CPS) SUBDISTRICT. THE EASEMENT IS ALSO CONSIDERED A CPS SUBDISTRICT. CONSIDERATIONS IN THIS DISTRICT ARE NEEDED FOR A WELL CONSIDERED PLAN TO PROTECT AND ENHANCE THE NATURAL AND SCENIC RESOURCES OF ROSLINDALE.

(C) CONTEMPORARY DESIGN FOR RESIDENTIAL STRUCTURES IS APPROPRIATE, PROVIDED THAT SUCH STRUCTURES ARE COMPATIBLE WITH THE SIZE, MATERIAL, AND CHARACTER OF THE SURROUNDING NEIGHBORHOOD ENVIRONMENT.
 (D) NEW RESIDENTIAL CONSTRUCTION SHOULD REFLECT THE TRADITIONAL LOCATION AND RELATIONSHIP OF BUILDINGS ON THEIR SITES. THIS INCLUDES SETBACKS FROM STREETS, SPACING AMONG BUILDINGS, AND ORIENTATION OF FAÇADES TO THE STREET AND NEIGHBORING STRUCTURES. A FAÇADE FACING A STREET SHOULD NOT CONSIST OF BLANK WALLS WITHOUT WINDOWS. IN ADDITION, THE LOCATION OF BUILDINGS SHOULD RESPECT SIGNIFICANT LANDSCAPE FEATURES ON THE SITE.
 (E) NEW RESIDENTIAL CONSTRUCTION SHOULD RESPECT THE STANDARDS OF SCALE OF EXISTING RESIDENTIAL CONSTRUCTION IN ORDER TO MAINTAIN THE SUBDISTRICT'S SPECIAL QUALITIES. OVERALL BUILDING HEIGHT AND MASSING, RELATIONSHIPS OF PRIMARY BUILDINGS TO SECONDARY BUILDINGS, AND LANDSCAPE ELEMENTS ALL SHOULD BE CONSISTENT WITH THE SURROUNDING ARCHITECTURE AND ENVIRONMENT.

PARKING:

SECTION 67 TABLE F FOOTNOTE 3: FOR DWELLING UNITS QUALIFYING AS AFFORDABLE HOUSING, THE OFF-STREET PARKING REQUIREMENT IS AS FOLLOWS: TWO (2) PARKING SPACES PER DWELLING UNIT FOR PROPOSED PROJECTS BETWEEN ONE (1) AND THREE (3) DWELLING UNITS; 1.5 PARKING SPACES PER DWELLING UNIT FOR PROPOSED PROJECTS BETWEEN FOUR (4) AND FIFTEEN (15) DWELLING UNITS; AND ONE (1) PARKING SPACE PER DWELLING UNIT FOR PROPOSED PROJECTS WITH MORE THAN FIFTEEN (15) DWELLING UNITS.



Residential Uses

See Table Encl. (1) (1) (2)

	One-Family (1F)	Two-Family (2F)
Congregate living complex	F	B
Elderly housing	F	F
Group residence, limited	A	A
Lodging house	F	F
Mobile home	F	F
Mobile home park	F	F
Multi-family dwelling	F	F
One-family detached dwelling	A	A
One-family semi-attached dwelling	F	A
Orphanage	F	F
Rowhouse	F	F
Temporary dwelling structure	C	C
Three-family detached dwelling	F	F
Townhouse	F	F
Transitional housing or homeless shelter	F	F
Two-family detached dwelling	F	A
Two-family semi-attached dwelling	F	A

Two-Family Residential Subdistrict

	Lot Area Minimum For Dwell. Unit(s) Specified (Sq. Ft.)	Additional Lot Area for Ea. Addit'l Dwell. Unit (Sq. Ft.)	Lot Width Minimum (Feet)	Lot Frontage Minimum (Feet)	Floor Area Ratio Maximum	Building Height Maximum ⁽²⁾		Usable Open Space Minimum Sq. Ft. Per Dwelling Unit ⁽³⁾	Front Yard Min. Depth (Feet) ⁽⁴⁾	Side Yard Min. Depth (Feet) ⁽⁵⁾	Rear Yard Min. Depth (Feet) ⁽⁴⁾	Rear Yard Maximum Occupancy by Accessory Buildings (Percent)
						Stories	Feet					
2F-5,000 ⁽¹⁾												
1 Family Detached or Semi-Attached or 2 Family Detached	5,000 for 1 unit	3,000	50	50	.5	2 ½	35	1,750	20	10	40	25
Other Use	8,000	N/A	50	50	.5	2 ½	35	1,750	20	10	40	25

SET BACKS/FAR/MAX HEIGHTS/FRONTAGE

LOT AREA MIN FOR DWELLING UNIT(S) SPECIFIED: 5,000 SF
 ADDITIONAL LOT AREA FOR EACH ADDITIONAL DWELLING UNIT: 3,000 SF
 FRONTAGE: 50'

FRONT YARD: MIN DEPTH 20' OR - V67-33-1 CONFORMITY WITH EXISTING BUILDING ALIGNMENT. IF AT ANY TIME IN THE SAME BLOCK AS A LOT REQUIRED BY THIS ARTICLE TO HAVE A MINIMUM FRONT YARD THERE EXIST TWO OR MORE BUILDINGS FRONTING ON THE SAME SIDE OF THE SAME STREET AS SUCH LOT, INSTEAD OF THE MINIMUM FRONT YARD DEPTH SPECIFIED IN THIS ARTICLE, THE MINIMUM FRONT YARD DEPTH SHALL BE IN CONFORMITY WITH THE EXISTING BUILDING ALIGNMENT OF THE BLOCK.

SIDE YARD: 10'
 REAR YARD: 40'

BUILDING HEIGHT MAXIMUM: 2-1/2 STORIES OR 35'
 FAR MAX : .5

PROJECT
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104R & 106R WALTER STREET
 ROSLINDALE, MA

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ARCHITECT

CIVIL ENGINEER

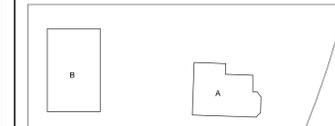
LANDSCAPE ARCHITECT

STRUCTURAL ENGINEER

MEP ENGINEER

NO.	DATE	DESCRIPTION

KEY PLAN



SITE PLAN - EXISTING & ZONING REVIEW

DRAWING TITLE

SCALE: 1" = 10'-0" DATE: 01/02/2023

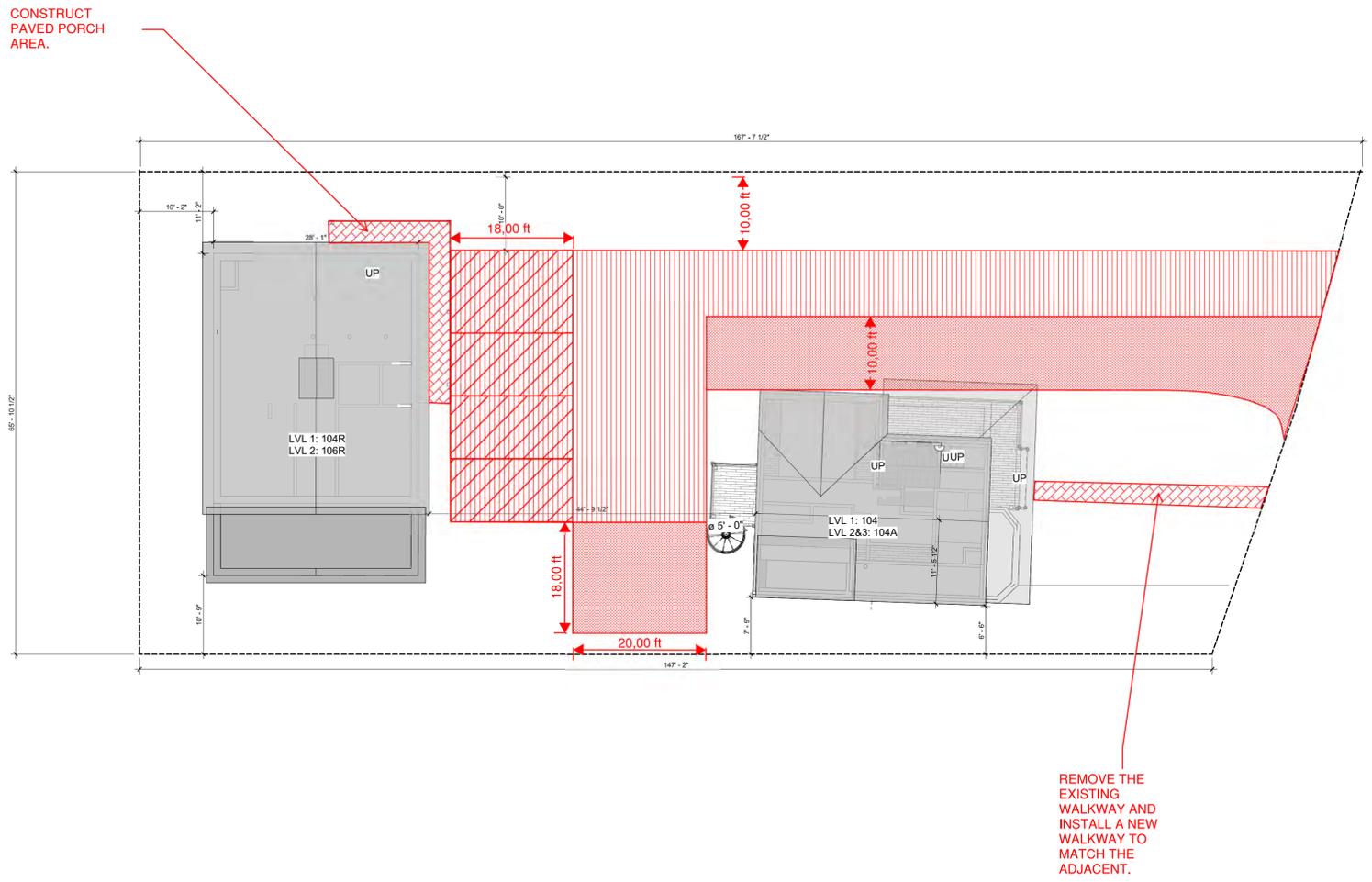
JOB NUMBER: #####

SUBMISSION: DESIGN DEVELOPMENT BOTH

DRAWING NUMBER

A100

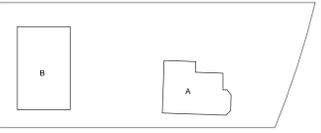
10/25/2022 9:30:21 AM
 Autodesk Docs/Share for Humanity - 104 WALTER STREET - 2022/2020-10-24 CURRENT 2022 HP FOR 104 Walter Street Roslindale MA
 BPDA

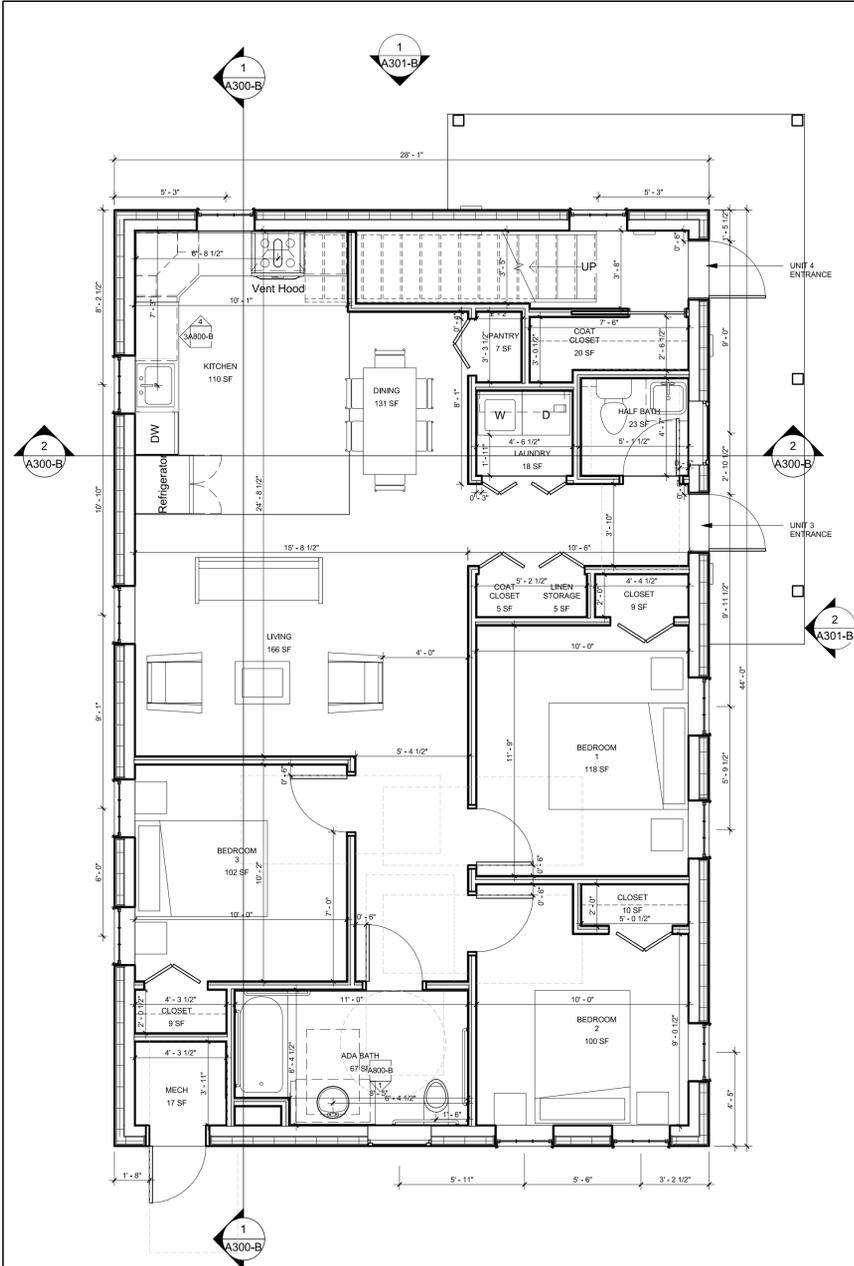


MATERIALS

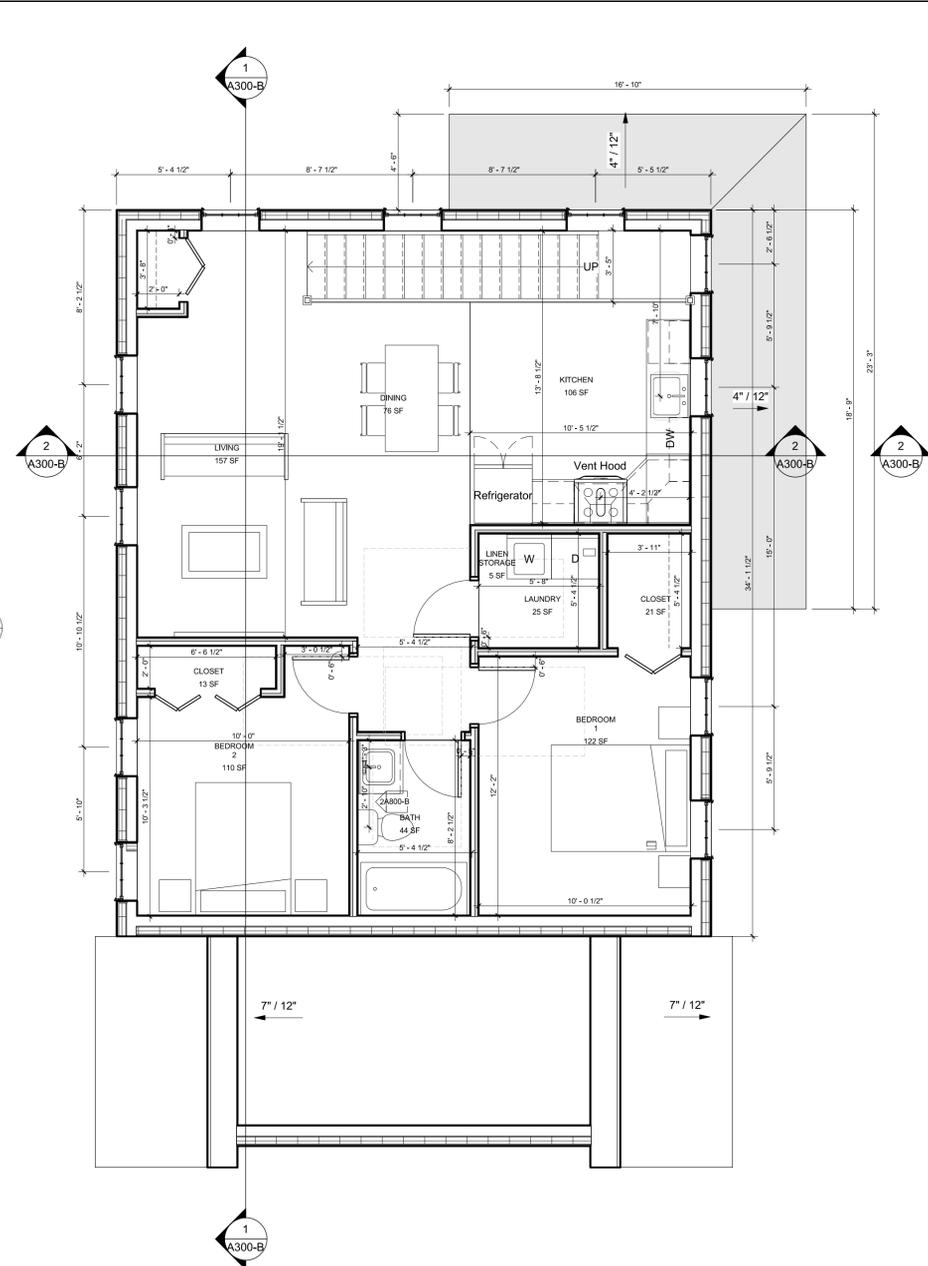
-  Porous material with capacity to carry the weight of the fire truck. Potentially grass pavers.
-  Pervious Paver
-  Stone Walkway

1 SITE PLAN - PROPOSED
 SCALE 3/32" = 1'-0"

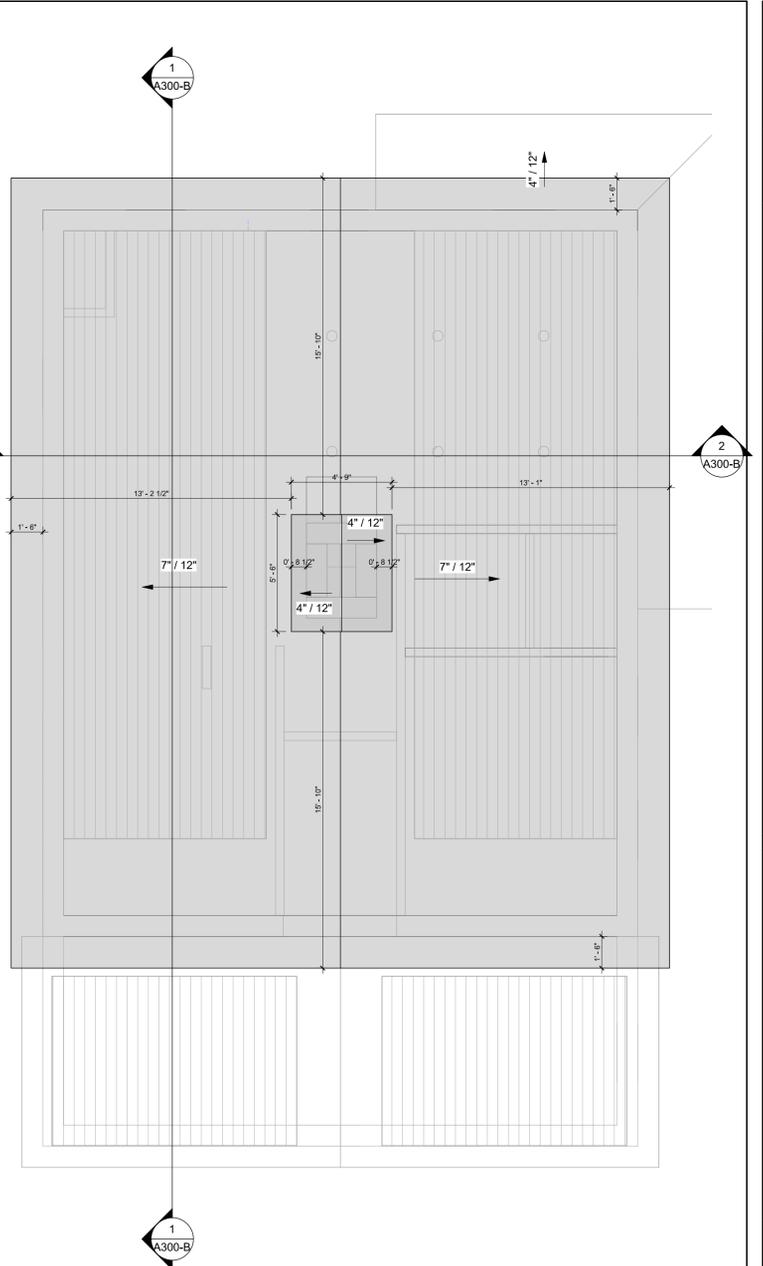
PROJECT	
BPDA 104 & 104A WALTER STREET ROSLINDALE, MA	
CLIENT	
	
ARCHITECT	
	
CIVIL ENGINEER	
	
LANDSCAPE ARCHITECT	
	
STRUCTURAL ENGINEER	
	
MEP ENGINEER	
	
NO.	DATE
DESCRIPTION	
KEY PLAN	
	
SITE PLAN	
DRAWING TITLE	
	
SCALE	DATE
3/32" = 1'-0"	10/25/2022
####	
JOB NUMBER	
DESIGN DEVELOPMENT BOTH	
SUBMISSION	
DRAWING NUMBER	
A101	



1 BARN LEVEL 1
SCALE 1/4" = 1'-0"



2 BARN LEVEL 2
SCALE 1/4" = 1'-0"



3 BARN LEVEL 3
SCALE 1/4" = 1'-0"

BARN HOUSE

- GROSS SF = 1,867 SF

UNIT 104R SUMMARY

- LVL 1
- FULLY ACCESSIBLE UNIT
- 3 BEDROOMS
- 1-1/2 FULL BATHROOMS
- 1027 SF TOTAL

UNIT 106R SUMMARY

- LVL 2
- 2 BEDROOMS
- 1 FULL BATHROOM
- 840 SF TOTAL

PROJECT
BPDA
104R & 106R WALTER STREET
ROSLINDALE, MA

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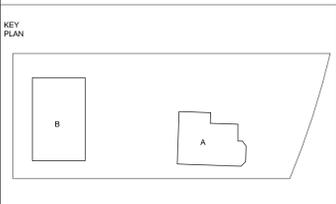
CIVIL ENGINEER
OCG
Oak Consulting Group

LANDSCAPE ARCHITECT
BELLALTA 3 DESIGN

STRUCTURAL ENGINEER
SIEGEL ASSOCIATES
STRUCTURAL ENGINEERS

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BARN HOUSE FLOOR PLANS

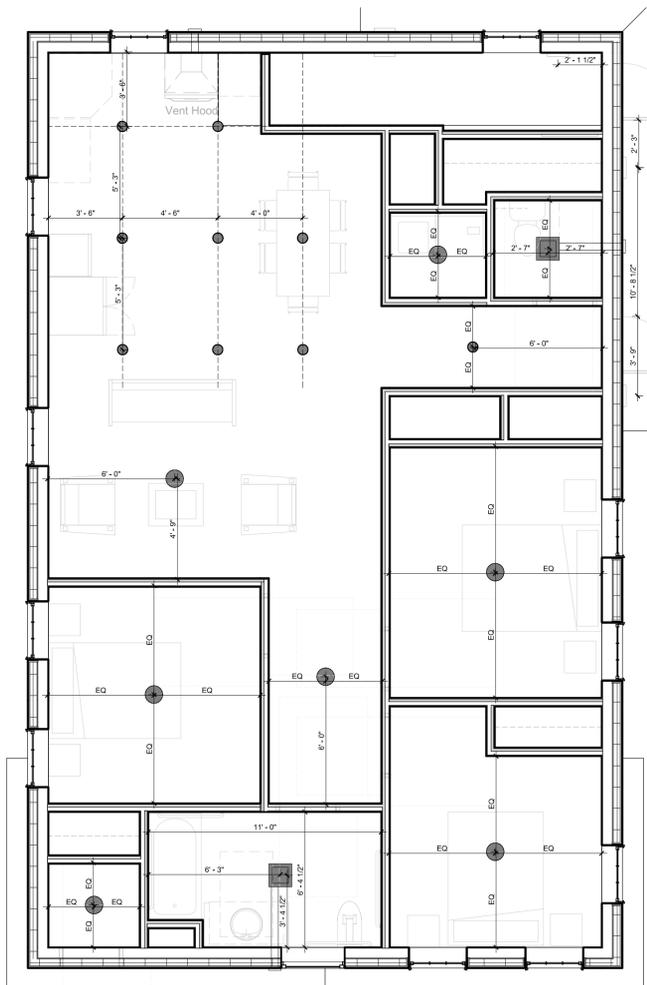
DRAWING TITLE

SCALE: 1/4" = 1'-0" DATE: 01/02/2023

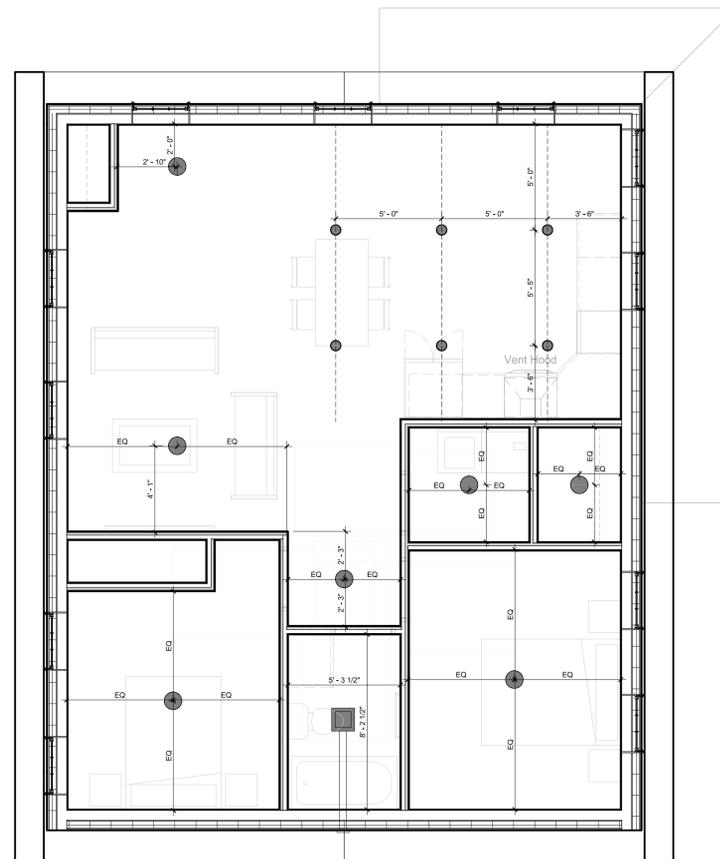
JOB NUMBER: ###

SUBMISSION: DESIGN DEVELOPMENT BARN HOUSE

DRAWING NUMBER: **A102-B**



1 BARN LEVEL 1
SCALE 1/4" = 1'-0"



2 BARN LEVEL 2
SCALE 1/4" = 1'-0"

PROJECT
BPDA
104R & 106R WALTER STREET
ROSLINDALE, MA

CLIENT

ARCHITECT

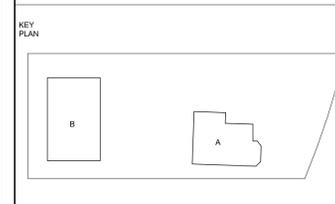
CIVIL ENGINEER

LANDSCAPE ARCHITECT

STRUCTURAL ENGINEER

MEP ENGINEER

NO.	DATE	DESCRIPTION



BARN HOUSE RCP

DRAWING TITLE

SCALE 1/4" = 1'-0" DATE 01/02/2023

JOB NUMBER ###

SUBMISSION DESIGN DEVELOPMENT BARN HOUSE

DRAWING NUMBER
A200-B

PROJECT
BPDA
 104R & 106R WALTER STREET
 ROSLINDALE, MA

CLIENT

 ARCHITECT

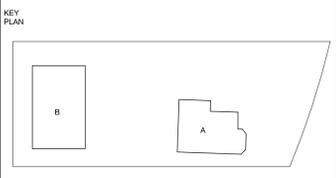

CIVIL ENGINEER


LANDSCAPE ARCHITECT


STRUCTURAL ENGINEER


MEP ENGINEER


NO.	DATE	DESCRIPTION
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BARN HOUSE BUILDING SECTIONS

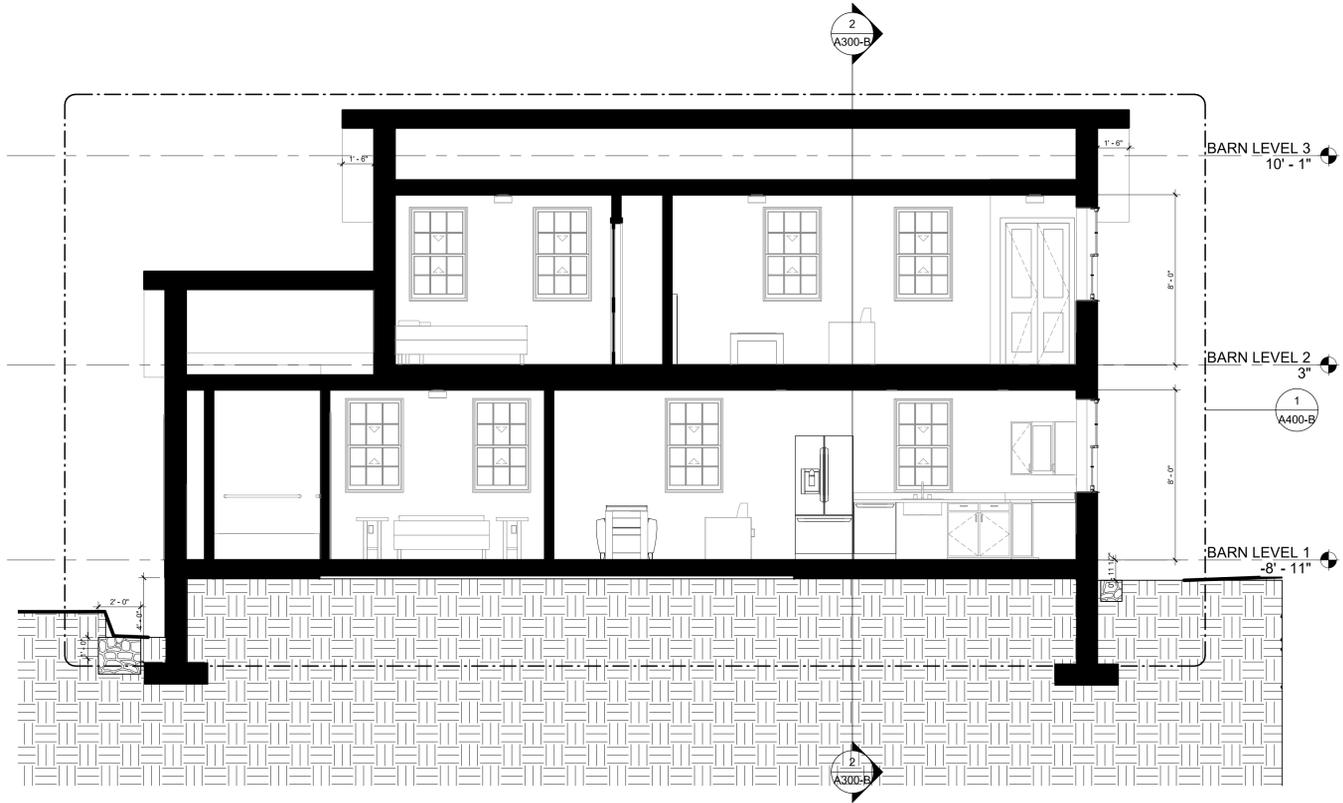
DRAWING TITLE



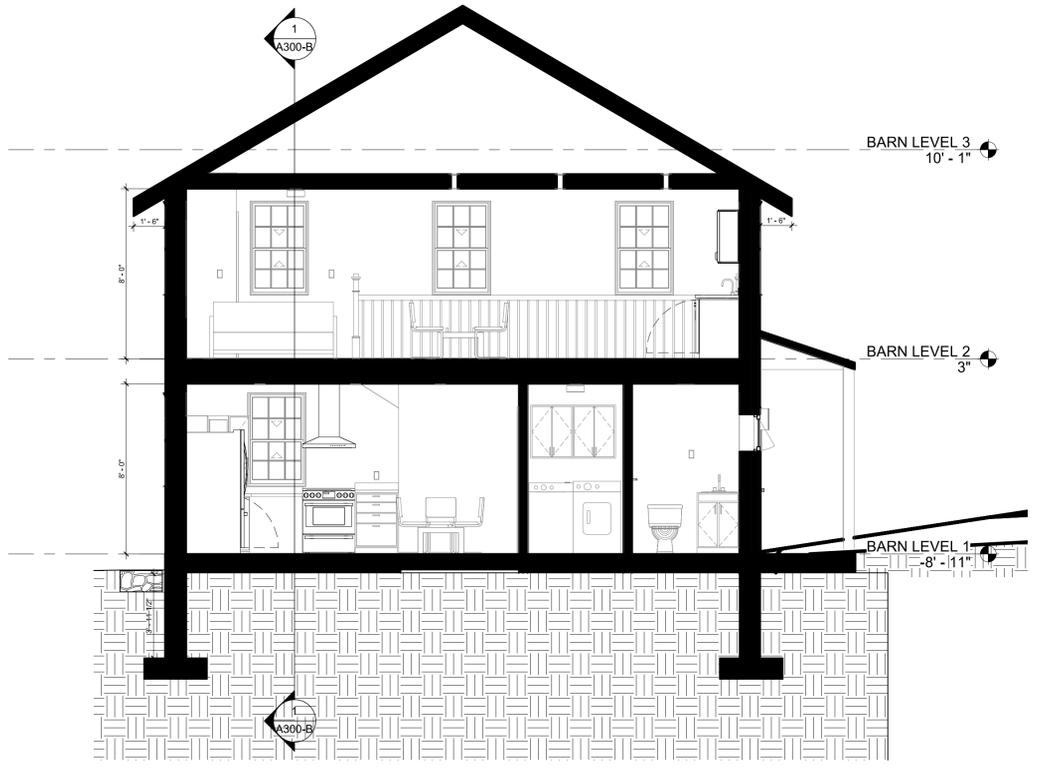
SCALE: 1/4" = 1'-0" DATE: 01/02/2023

JOB NUMBER: #####
 SUBMISSION: DESIGN DEVELOPMENT BARN HOUSE

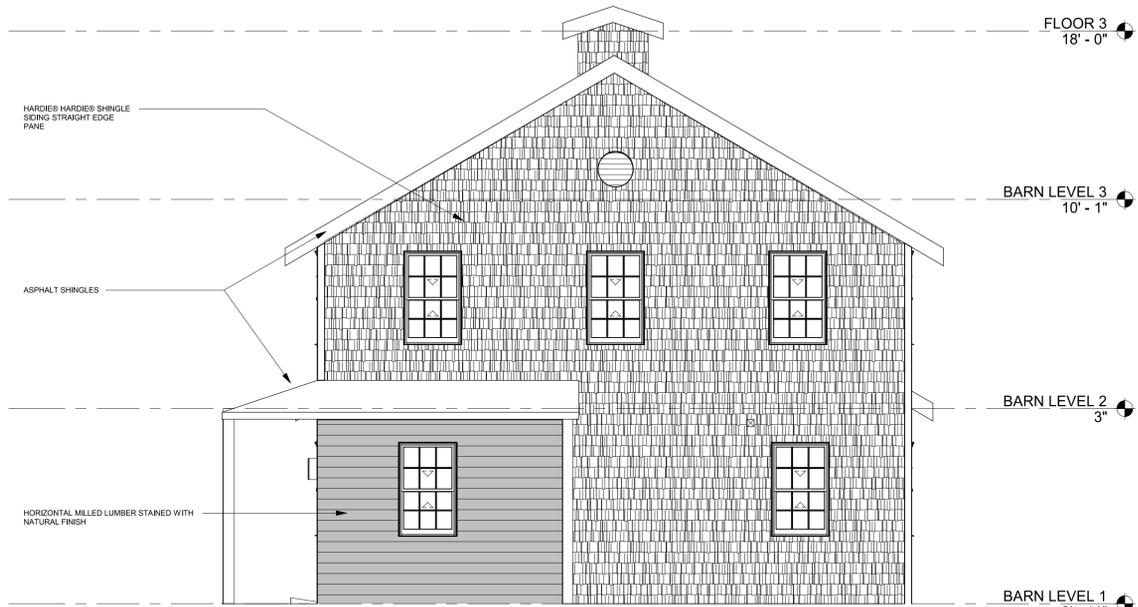
DRAWING NUMBER: **A300-B**



1 BARN HOUSE NORTH SOUTH
 SCALE 1/4" = 1'-0"



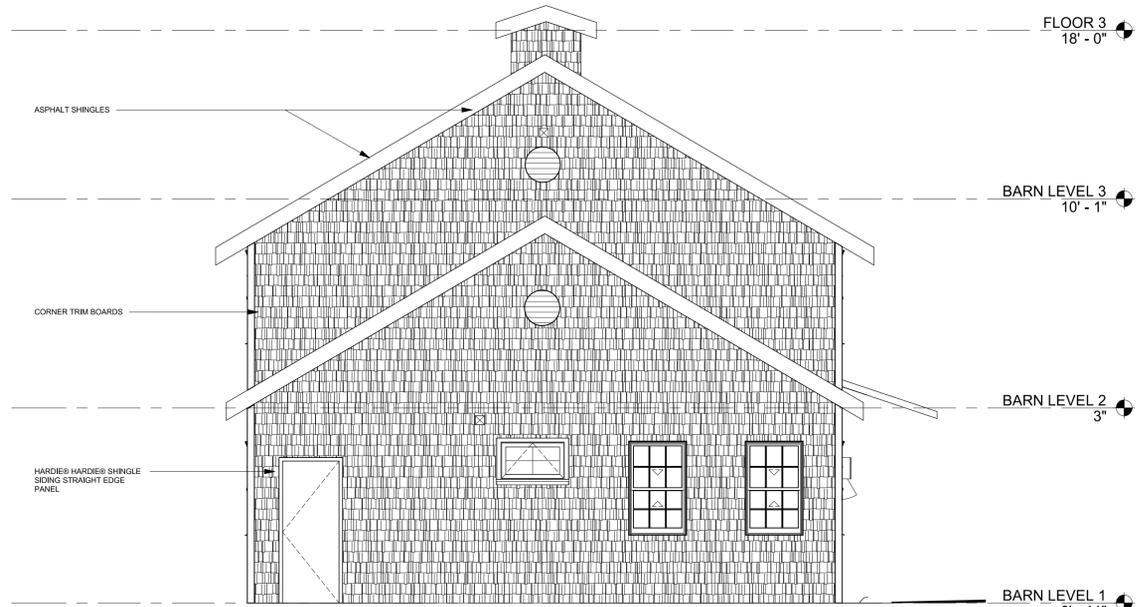
2 BARN HOUSE EAST WEST
 SCALE 1/4" = 1'-0"



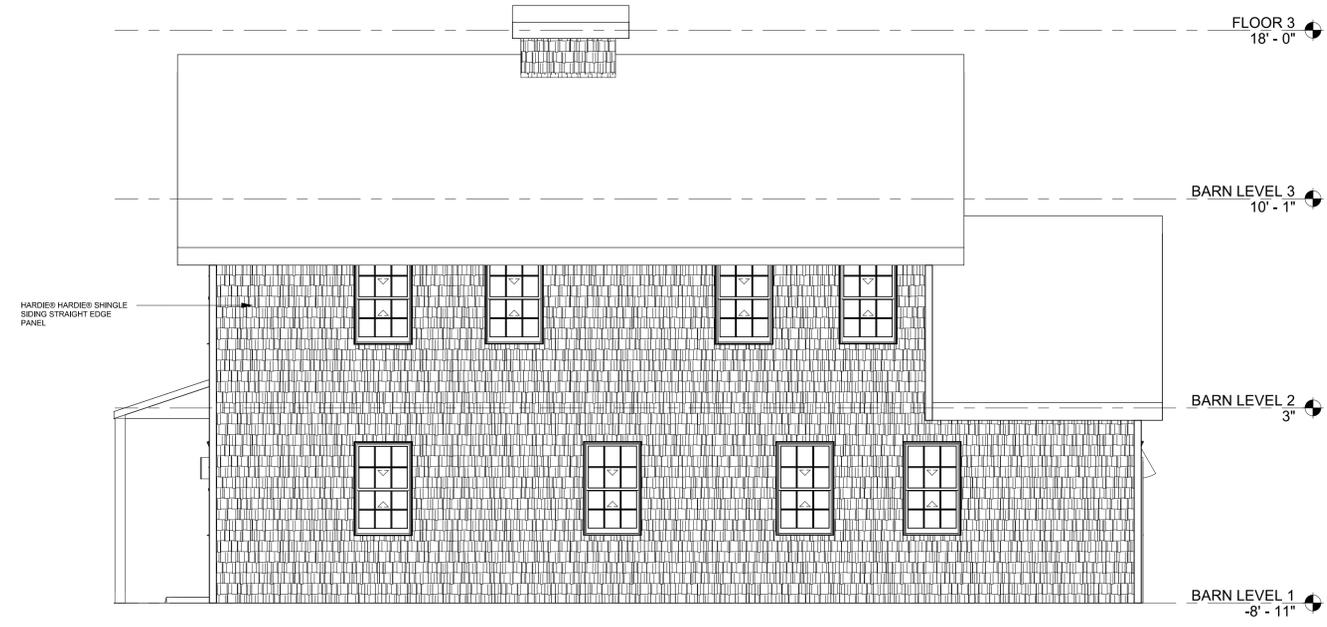
1 BARN HOUSE NORTH
SCALE 1/4" = 1'-0"



2 BARN HOUSE EAST
SCALE 1/4" = 1'-0"



3 BARN HOUSE SOUTH
SCALE 1/4" = 1'-0"



5 BARN HOUSE WEST
SCALE 1/4" = 1'-0"



BUILDING PRECEDENT DESIGN EXAMPLE. NOTE THE CHANGE IN MATERIALS AT ENTRANCES BUT SIMPLE BARN STYLE DESIGN.

PROJECT
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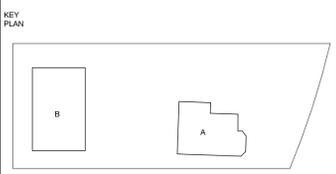
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Oak Consulting Group

LANDSCAPE ARCHITECT
BELLALTA 3 DESIGN

STRUCTURAL ENGINEER
SIEGEL ASSOCIATES
STRUCTURAL ENGINEERS

MEP ENGINEER
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NO.	DATE	DESCRIPTION
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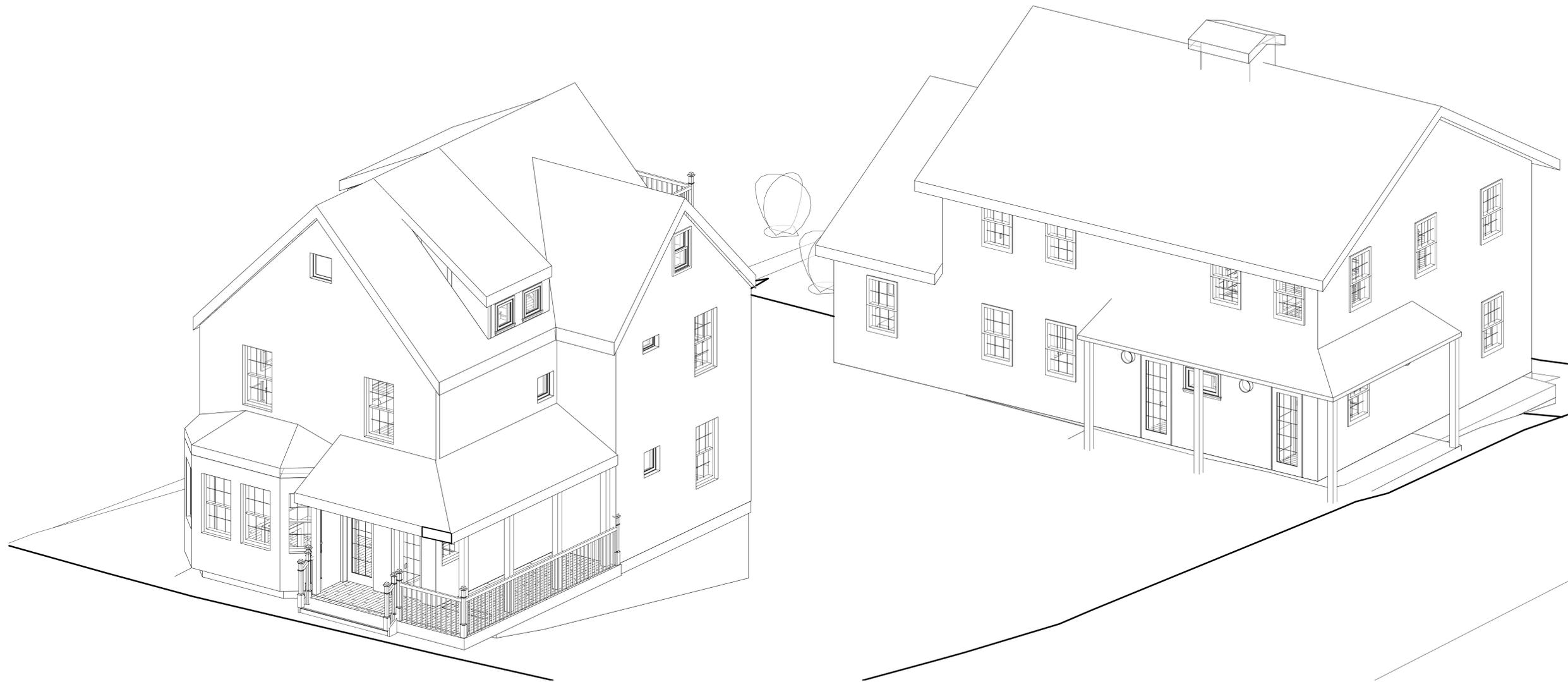
BARN HOUSE ELEVATIONS

DRAWING TITLE
REGISTERED ARCHITECT
ROBERT WILLIAM FREY
NO. 51087
BOSTON
MA
STATE OF MASSACHUSETTS
DEPARTMENT OF CONSTRUCTION

SCALE 1/4" = 1'-0" DATE 01/02/2023

JOB NUMBER ###
DESIGN DEVELOPMENT
BARN HOUSE

DRAWING NUMBER
A301-B



PROJECT
BPDA
104R & 106R WALTER STREET
ROSLINDALE, MA

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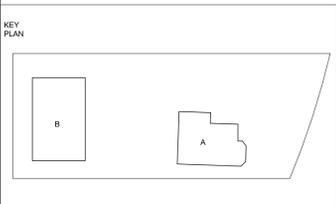
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 BELLALTA DESIGN

STRUCTURAL ENGINEER
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NO.	DATE	DESCRIPTION



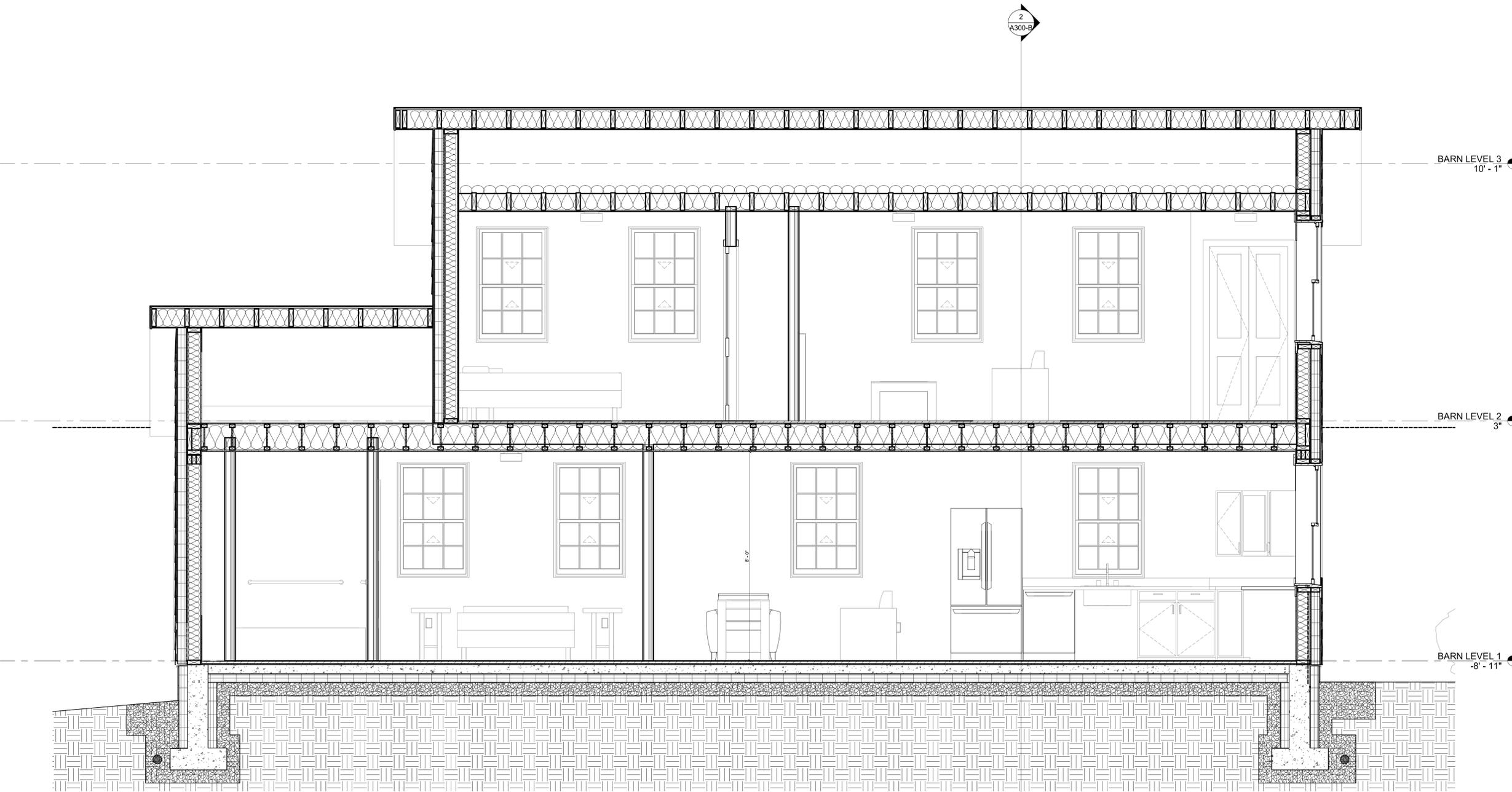
PERSPECTIVES

DRAWING TITLE

SCALE	DATE
	01/02/2023
JOB NUMBER	####
SUBMISSION	DESIGN DEVELOPMENT BOTH

DRAWING NUMBER

A304



1 BARN HOUSE EXTERIOR DETAIL
SCALE 1/2" = 1'-0"

PROJECT
BPDA
104R & 106R WALTER STREET
ROSLINDALE, MA

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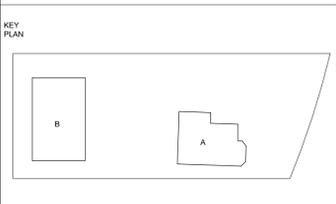
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 BELLALTA 3 DESIGN

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STRUCTURAL ENGINEERS

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NO.	DATE	DESCRIPTION



BARN HOUSE EXTERIOR WALL SECTION AND DETAILS

DRAWING TITLE

SCALE 1/2" = 1'-0" DATE 01/02/2023

JOB NUMBER ###

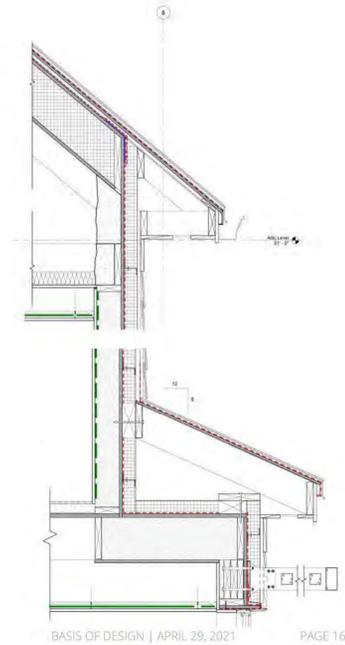
SUBMISSION DESIGN DEVELOPMENT BARN HOUSE

DRAWING NUMBER
A400-B

THERMAL ENVELOPE

Projections + Thermally Broken Details

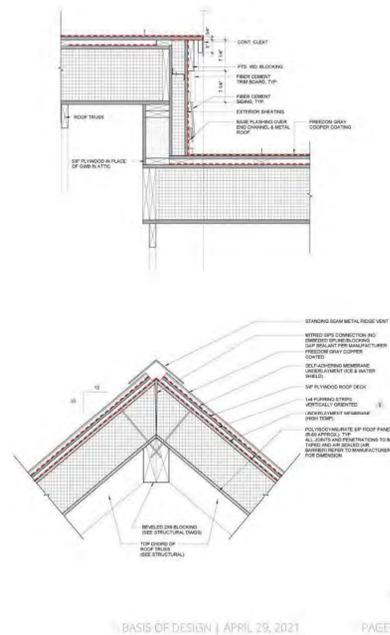
- Maintain continuity of sheathing, air barrier and insulation.
- Apply exterior projects over continuous thermal/air boundary and fasten through to framing in a thermally broken way
- Where is thermal boundary/ PH boundary?
- Does it include or exclude basement, particularly in the existing building if it is retrofitted?



ROOF

Roofs: +/-R-70

- Structurally Insulated Panel over roof Framing
- Air Barrier
- Roofing
- Other "split" insulation solutions possible



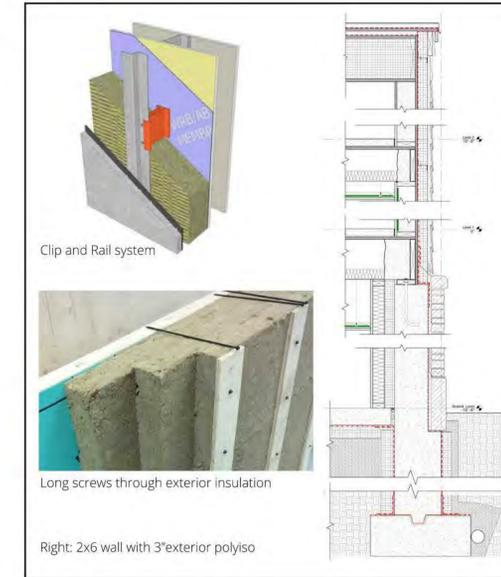
THERMAL ENVELOPE

New Construction Walls: R-38-40

- 2x6 stud filled with cellulose, batt or mineral wool
- Exterior sheathing
- Air Barrier
- 4" Polyiso
- Siding on thermally broken z-girts, fiberglass clip and rail system, or vertical furring with long screws.

Existing Retrofit Walls: R-38-40

- Existing 2x4 stud filled with cellulose, batt or mineral wool
- Exterior sheathing
- Air Barrier
- 5" Polyiso
- Siding on thermally broken z-girts, fiberglass clip and rail system, or vertical furring with long screws.



PASSIVE HOUSE GLAZING

U-Value: 0.2

- Triple Glazed Windows

Solar Heat Gain Coefficient: TBD

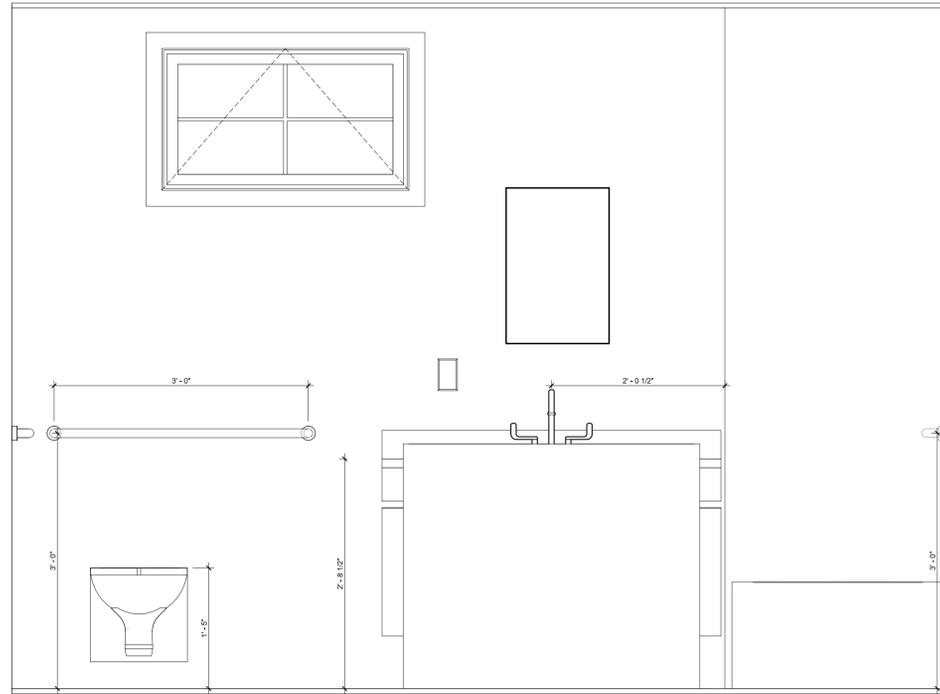
- Prescriptive code is 0.38 for S, E, W elevations, 0.51 for North Elevations

Window/wall ratio: +/- 20% max

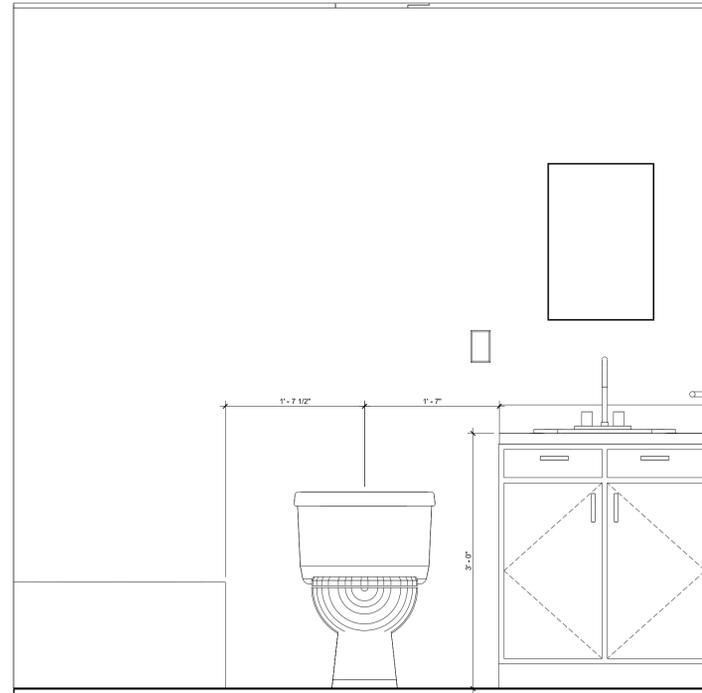


NOTE: THE DETAILS SHOWN HERE ARE FOR REFERENCE ONLY. ONCE THE PROJECT IS MOVED INTO MORE DETAIL THE DETAILS THAT APPLY FOR THIS PROJECT WILL BE DEVELOPED BASED ON THE PROJECT COMPONENTS. IT IS THE INTENT TO MEET PASSIVE HOUSE STANDARDS WHILE BALANCING THE COSTS OF THE BENEFACTORS.

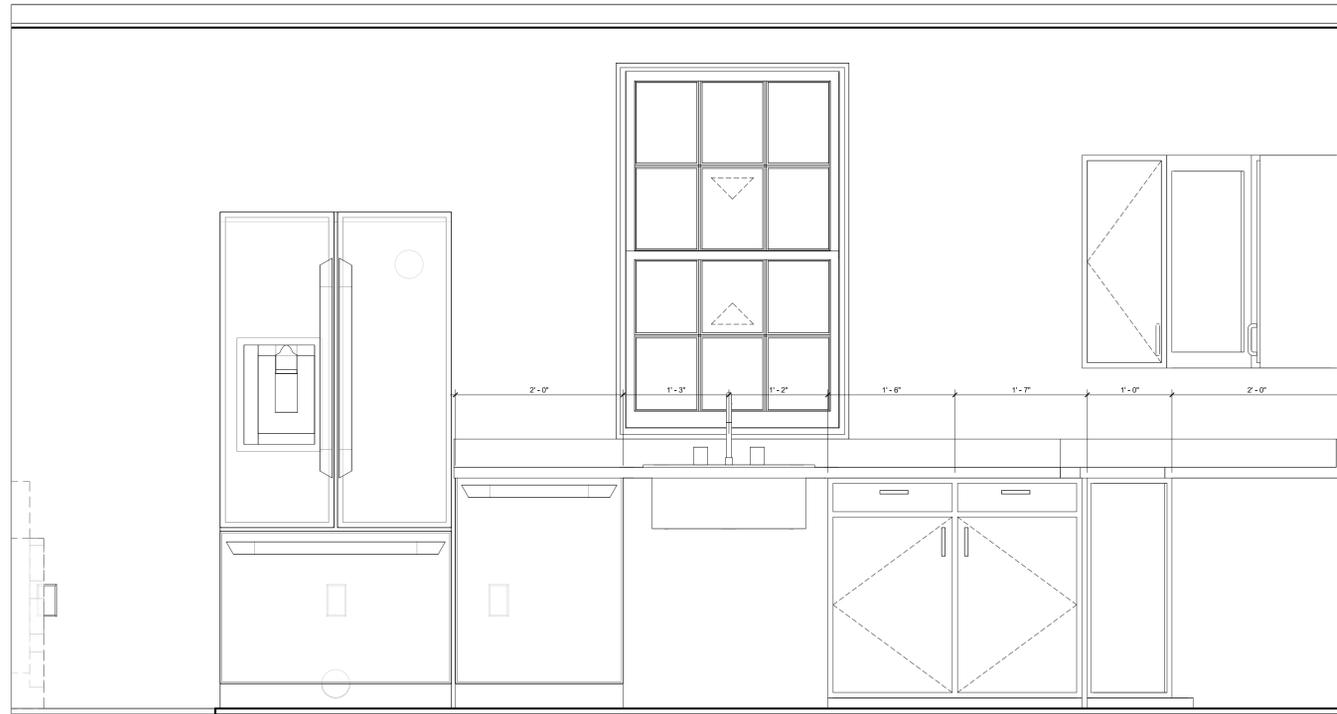
PROJECT		BPDA 104R & 106R WALTER STREET ROSLINDALE, MA
CLIENT		
ARCHITECT		
CIVIL ENGINEER		
LANDSCAPE ARCHITECT		
STRUCTURAL ENGINEER		
MEP ENGINEER		
NO.	DATE	DESCRIPTION
KEY PLAN		
TYPICAL PASSIVE HOUSE DETAILS		
DRAWING TITLE		
SCALE	DATE	01/02/2023
		####
JOB NUMBER	DESIGN DEVELOPMENT BOTH	
SUBMISSION DRAWING NUMBER	A401	



1 BARN HOUSE 104R ADA BATHROOM
SCALE 1" = 1'-0"



2 BARN HOUSE 106 BATHROOM
SCALE 1" = 1'-0"



3 BARN HOUSE 104R KITCHEN
SCALE 1" = 1'-0"



4 BARN HOUSE 104R KITCHEN B
SCALE 1" = 1'-0"

PROJECT
BPDA
104 & 104A WALTER STREET
ROSLINDALE, MA

CLIENT
Habitat for Humanity
GREATER BOSTON

ARCHITECT
adaptiv

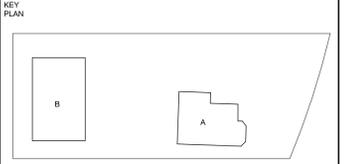
CIVIL ENGINEER
OCG
Oak Consulting Group

LANDSCAPE ARCHITECT
BELLALTA 3 DESIGN

STRUCTURAL ENGINEER
SIEGEL ASSOCIATES
STRUCTURAL ENGINEERS

MEP ENGINEER
RDH
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NO.	DATE	DESCRIPTION



BARN HOUSE INTERIOR ELEVATIONS

DRAWING TITLE

SCALE 1" = 1'-0" DATE 01/02/2023

JOB NUMBER #####

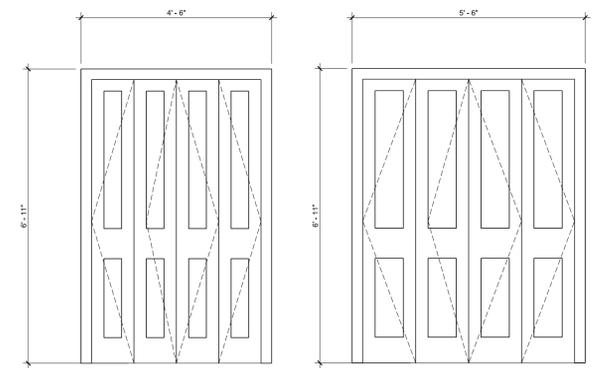
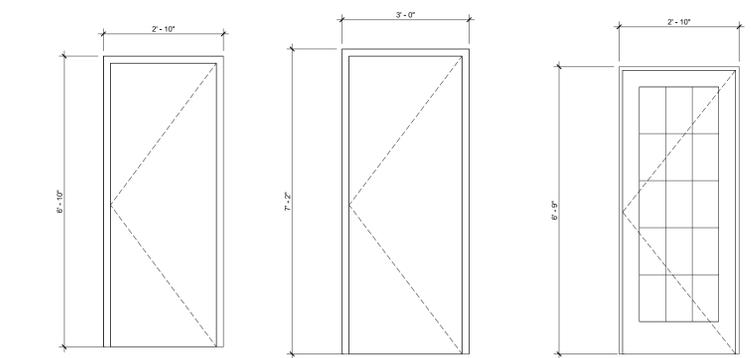
SUBMISSION DESIGN DEVELOPMENT BARN HOUSE

DRAWING NUMBER

A800-B

DOOR SCHEDULE				
DOOR NOMINAL SIZE			MATERIAL	Comments (Hosting Building)
WIDTH	HEIGHT	THICKNESS		
2' - 8"	6' - 8"	1 3/4"	Wood	Barn House
4' - 0"	6' - 8"	1 1/2"	Wood	Barn House
2' - 8"	6' - 8"	1 3/8"	Fiberglass/Metal	Barn House
2' - 8"	6' - 8"	1 3/4"	Wood	Barn House
2' - 8"	6' - 8"	1 3/4"	Wood	Barn House
2' - 8"	6' - 8"	1 3/4"	Wood	Barn House
2' - 8"	6' - 8"	1 3/4"	Wood	Barn House
2' - 8"	6' - 8"	1 3/4"	Wood	Barn House
3' - 0"	6' - 8"	1 1/2"	Wood	Barn House
2' - 8"	6' - 8"	1 3/8"	Wood	Barn House
2' - 8"	6' - 8"	1 3/4"	Wood	Barn House
2' - 8"	6' - 8"	1 3/8"	Fiberglass/Metal	Barn House
3' - 0"	6' - 8"	1 1/2"	Wood	Barn House
5' - 0"	6' - 8"	1 1/2"	Wood	Barn House
3' - 0"	6' - 8"	1 1/2"	Wood	Barn House
5' - 0"	6' - 8"	1 1/2"	Wood	Barn House
2' - 8"	6' - 8"	1 3/4"	Wood	Barn House
3' - 0"	6' - 8"	1 1/2"	Wood	Barn House
2' - 8"	6' - 8"	1 3/4"	Fiberglass/Metal	Barn House

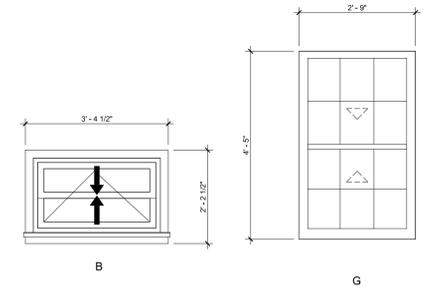
Grand total: 19



? DOOR LEGEND
SCALE 1/2" = 1'-0"

BARN HOUSE WINDOW SCHEDULE							
Key Note	Family	Family and Type	Height	Width	Count	Comments	Building
B	Window-Awning-Single	Window-Awning-Single: 36" x 21"	1' - 9"	3' - 0"	2	Pella High Efficiency or similar	Barn House
G	Window-Double_Hung-Pella-Architect-Reserve-Vent	Window-Double_Hung-Pella-Architect-Reserve-Vent: 3353	4' - 5"	2' - 9"	22	Pella High Efficiency or similar	Barn House

Grand total: 24



? WINDOW LEGEND
SCALE 1/2" = 1'-0"

B

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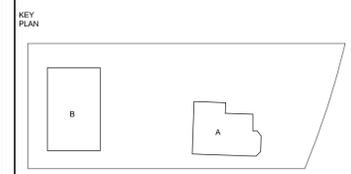
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LANDSCAPE ARCHITECT
BELLALTA 3 DESIGN

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NO.	DATE	DESCRIPTION



BARN HOUSE WINDOW AND DOOR SCHEDULE

KEY PLAN

REGISTERED ARCHITECT
ROBERT WILLIAM PREY
NO. 51087
BOSTON, MA
COMMONWEALTH OF MASSACHUSETTS

SCALE: 1/2" = 1'-0" DATE: 01/02/2023

JOB NUMBER: #####

SUBMISSION: DESIGN DEVELOPMENT FARM HOUSE

DRAWING NUMBER
A900-B

PLUMBING FIXTURES SCHEDULE				
Type Mark	Type Comments	Count	Comments	Count
TB-1	PORCELAIN TUB	Bathtub 2' 6" x 5' 00"	Farm House	2
WC-1	TOILET	Floor mounted toilet	Farm House	3
SK-2	BATHROOM SINK	Porcelain Sink 27"	Farm House	3
SK-1	KITCHEN SINK	Stainless Steel Kitchen Sink 27" x 21"	Farm House	2

Items above specified for Farm House

BATHROOM ACCESSORY SCHEDULE		
Accessory	Quantity	Unit
Towel Bar 24"	6	Barn House
Robe Hook	3	Barn House
Towel Bar 24"	6	Farm House
Robe Hook	3	Farm House

APPLIANCE SCHEDULE	
Appliance	Count
Refrigerator 18 cubic feet	4
Oven	4
Dishwasher	4

2 of each item in the Farm House and 2 in the Barn House

*** GENERAL NOTE:**

THIS PLUMBING AND APPLIANCE SCHEDULE ARE PRELIMINARY AND WILL BE REVISED AS WE FINALIZE MATERIALS AND EQUIPMENT

*Bathroom Accessory: Chrome finished DELTA products

*Appliances and Plumbing Fixtures: Is determined by viable donations that are energy efficient and the right size.

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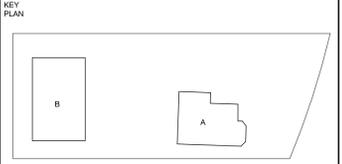
LANDSCAPE ARCHITECT

STRUCTURAL ENGINEER

MEP ENGINEER

1	July 22, 2022	MOH SD Review #01
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NO.	DATE	DESCRIPTION



PLUMBING SCHEDULE

DRAWING TITLE

DATE: 01/02/2023

SCALE: #

JOB NUMBER: #####

SUBMISSION: DESIGN DEVELOPMENT BOTH

DRAWING NUMBER: **P100**

GENERAL NOTE:
PLUMBING AND FIXTURE SCHEDULES ARE PRELIMINARY AND WILL BE REVISED IN FUTURE PHASES OF DESIGN.